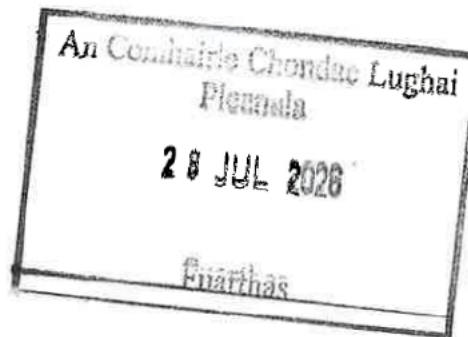


P92/JMcK/CR

27th July 2026

Planning Office,
Louth County Council,
Town Hall,
Crowe Street,
Dundalk,
Co. Louth,
A91 W20C



MCKEVITT KING
ARCHITECTS

50 NORTH ROAD, DROGHEDA

CO. LOUTH, IRELAND, A92 W725

TELEPHONE: 041 9832950

EMAIL: info@mckevittking.ie

WEB: www.mckevittking.ie

Re: Section 5 Declaration Application for development at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, for Ronan Pairceir

Dear Sir/ Madam,

On behalf of our client, we submit this Section 5 Declaration Application at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96.

This application relates to the proposed development previously considered under Section 5 Declaration Application Reference No. S5 2026/36

In light of the legislative amendment, which came into effect on 17th July, for The Planning and Development (Exempted Development (Act of 2000)) Regulations 2026 (S.I. 338 of 2026) where regulations amend Class 1 of Schedule 2 of the Planning and Development Regulations 2001 to 2026, as amended, to increase the existing exemption for extension of a principal dwelling from 40 square metres to 45 square metres, we wish to resubmit this application for reconsideration having regard to the updated statutory provisions.

Drawings and Documents included in this application are as follows:

- Section 5 Declaration Application Form
- €80 Application Fee (cheque)
- 2 No. copies of Site Location map, Drawing No. P92_PE-01
- 2 No. copies of Site Layout Plan, Drawing No. P92_PE-02
- 2 No. copies of Architects Drawings Nos. P92_PE-03, PE-04, PE-05, PE-06, PE-07, PE-08, SU-01, SU-02, SU-03, SU-04, SU-05

Trusting all of the foregoing to be in order we now await to hear from you in due course. If you have any queries, please do not hesitate to contact the undersigned.

Yours faithfully,



James McKevitt MRIAI
McKevitt King Architects
Enc:





Section 5 Declaration - Application Form

Declaration as to whether development constitutes Exempted Development

Please read “Guidance Notes” before completing this form

Guidance Notes

1. The purpose of Section 5 of the Planning and Development Act 2000, as amended, is to establish if a particular development is or is not development and if it is or is not exempted development within the meaning of the Planning Act.
 - (a) A person seeking a determination must ensure under Question 7 (of the application form below) that a question is posed and that the question is clear, for example, is the construction of a shed development and is it or is it not exempted development. Details are then required of the shed so the planning authority can determine if the shed is exempt.
 - (b) The question to be determined should be clear as to whether it relates to an existing development or a proposed development. Details of the nature, size and location of the proposed development should be submitted and appropriate plans and elevations.
 - (c) If the question is not clear to the Planning Authority, the Section 5 application will be returned as invalid.
2. Any person may, on payment of the prescribed fee, currently €80.00 request in writing from the Planning Authority a declaration on a question as whether a particular type of development is exempt.
3. The Planning Authority is required to make a decision within 4 weeks of receipt of a valid Declaration Request however the Planning Authority can also request Additional Information if it is considered that insufficient information has been submitted.
4. Any person issued with a declaration may, on payment to the Board of such fee as may be prescribed, currently €220.00 refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
5. A planning authority is required to consider whether the development or proposed development identified in the request would be likely to have significant effects on the environment by virtue, at the least, of the nature, size or location of such development.

Section 5 Declaration - Application Form

1. Name and address of person seeking the declaration:

Ronan Pairceir

Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96

Phone Number: _____ E-Mail: _____

2. Name and address of agent (if any):

McKevitt King Architects

50 North Road, Drogheda, Co. Louth, A92 W725

Phone Number: 041 9832950 E-Mail: info@mckevittking.ie

3. Name and address for all correspondence (if not completed, correspondence will be sent to person seeking declaration)

As per Agent above

4. Interest in site of the person seeking declaration:

Owner

(If applicant is not freehold owner of the property in question, please provide name and address of owner if known)

5. Location and full address of development referred to in Question 7

Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96

6. Eircode OR Grid Co-ordinates must be submitted. Grid references may be found on Google Maps or at <https://irish.gridreferencefinder.com>

A92 KW96

7. Question for determination under Section 5 (See Note 1 above).

The question must be framed in the following format, i.e. Is the construction of a shed development and is it or is it not exempted development:

The proposed development will consist of the following:

- a) Construction of new single-storey kitchen extension to rear of existing dwelling
- b) Construction of new single-storey sunroom extension to side of existing dwelling
- c) All associated site works

Please Note – total additional floor area = 44.5 SQM. All works proposed are to
be carried out to the rear of the existing dwelling.

8. Does the development consist of works to be carried out to an existing or proposed protected structure? Yes ☐ No ☒

If Yes, has a Declaration under Section 57 of the Planning and Development Act 2000 been requested or issued for the property by the Planning Authority?

I certify that the aforementioned is correct.

Signature of Applicant

[Redacted Signature]

[Please include one copy of the following documents with this application form:](#)

- **Site Location Map:** (Scale 1:1000)
- **Site Layout Map:** (Scale 1:200 or 1:500)
- **Floor Plans & Elevations:** (Scale 1:50, 1:100 or 1:200)
Existing & Proposed, where applicable
- **Application fee:** (€80)

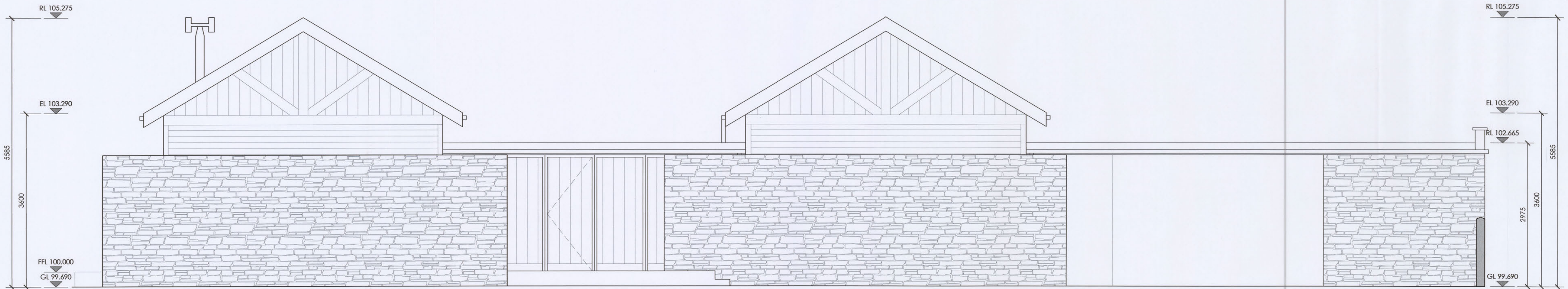
Completed Application Form & Fee of €80.00 may be sent to:

**Planning Office, Louth County Council, Town Hall, Crowe Street,
Dundalk, County Louth, A91W20C
OR**

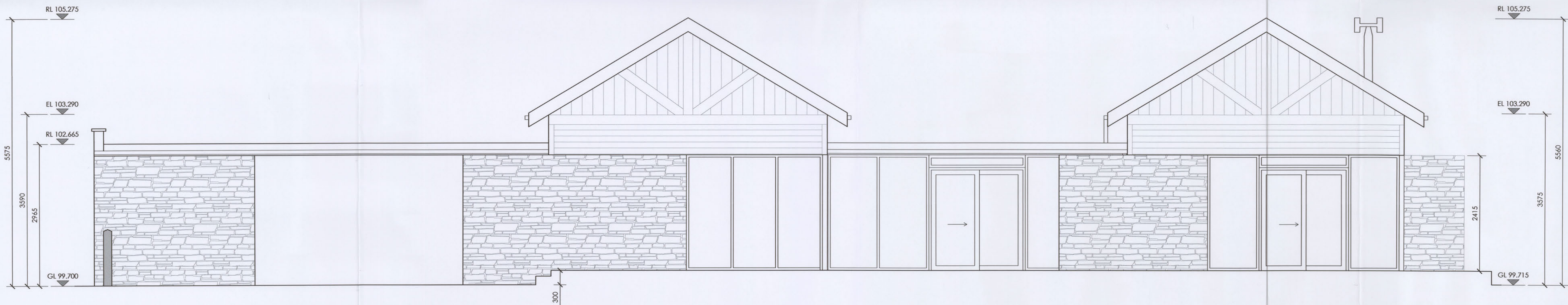
by email to planninggroup@louthcoco.ie with contact details to arrange payment of fee.

- GENERAL NOTES
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REV.	REVISION	DATE



EXISTING NORTH ELEVATION (FRONT)
SCALE 1:50 @ A1



EXISTING SOUTH ELEVATION (REAR)
SCALE 1:50 @ A1

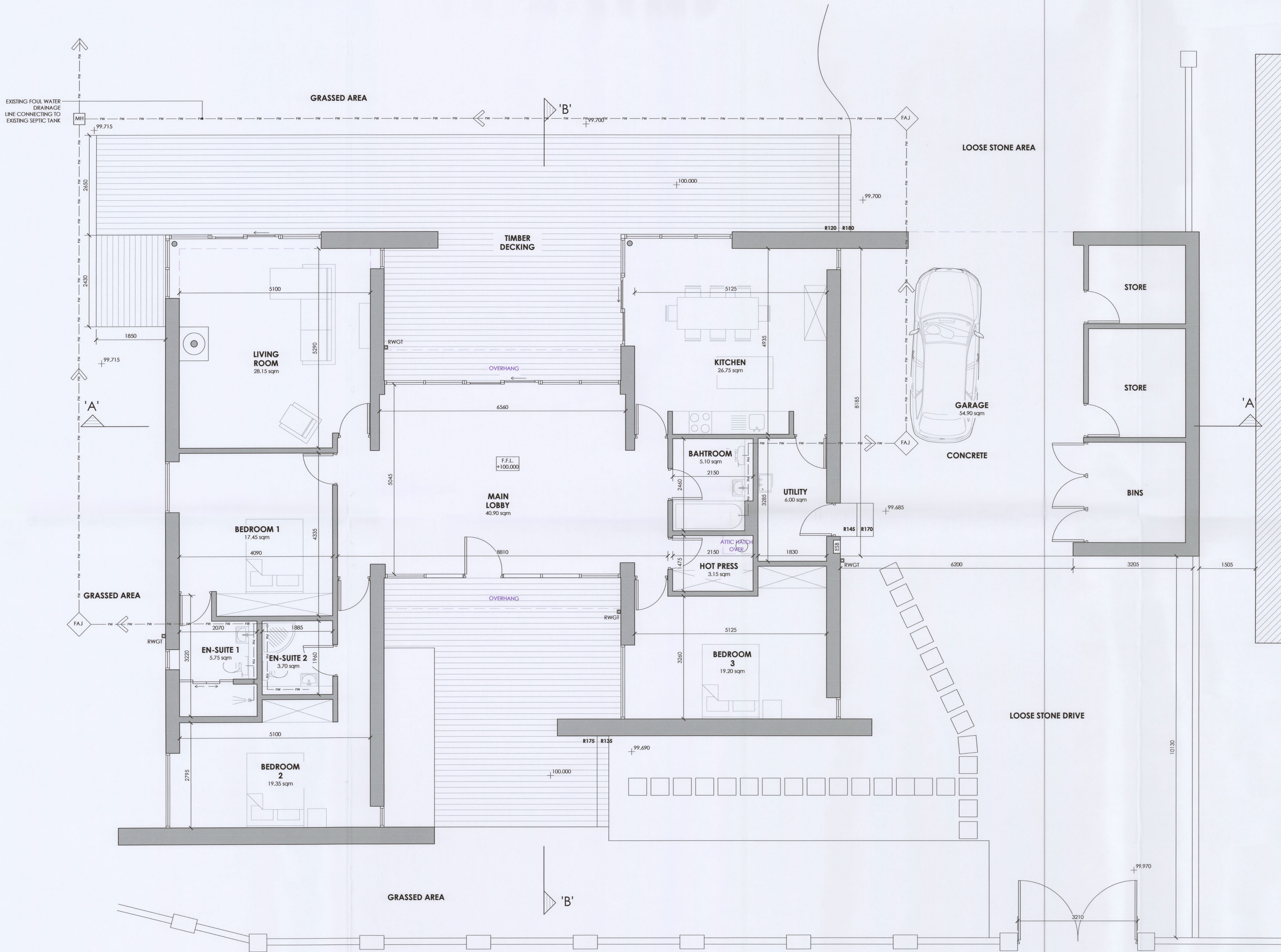
SURVEY

50 NORTH ROAD, DROGHEDA,
CO. LOUTH A92 W725

W: www.mckevittking.ie
E: info@mckevittking.ie
P: 041 9832950

PROJECT:	RENOVATIONS TO EXISTING DWELLING
SITE ADDRESS:	DUNE WATCH, SEAPoint, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96
CLIENT:	RONAN PAIRCER

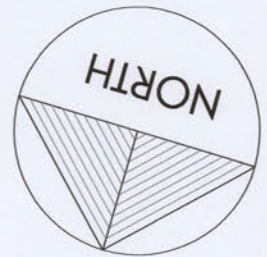
STAGE:	SURVEY	DRAWING TITLE:	EXISTING FRONT & REAR ELEVATIONS
DATE:	APRIL 2026	SCALE:	1:50 @ A1
PLOT DATE:	08.04.2026	REVISION:	—
DRAWN BY:	CR	PROJECT NO.:	P92
CHECKED BY:	JMCK	DRAWING NO.:	SU-03



EXISTING GROUND FLOOR PLAN
SCALE 1:50 @ A1

- GENERAL NOTES
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SURVEY



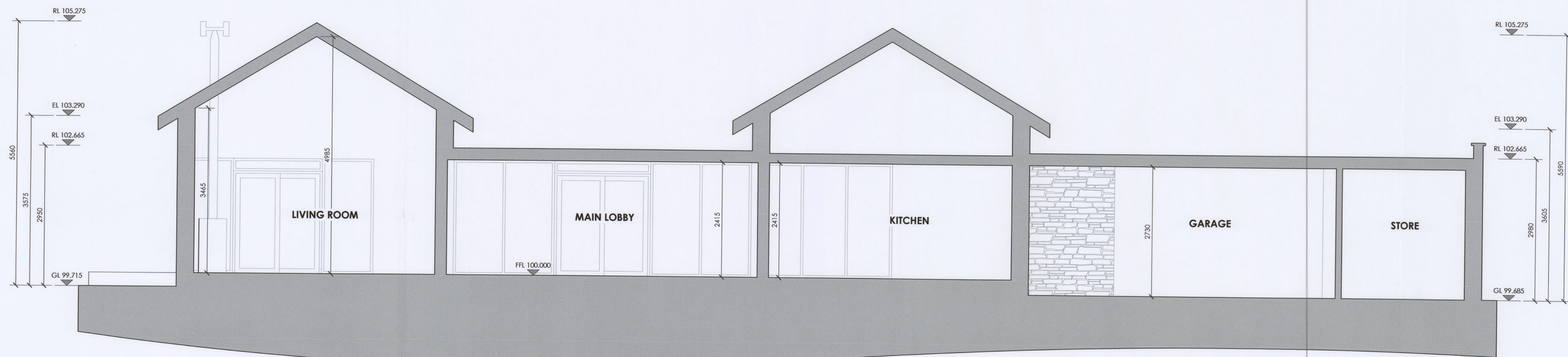
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CO. LOUTH A92 W725

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E: info@mckevittking.ie
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PROJECT: RENOVATIONS TO EXISTING DWELLING
SITE ADDRESS: DUNE WATCH, SEAPOINT, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96
CLIENT: RONAN PAIRCEIR

STAGE: SURVEY	DRAWING TITLE: EXISTING GROUND FLOOR PLAN
DATE: APRIL 2026	SCALE: 1:50 @ A1
PLOT DATE: 08.04.2026	REVISION: -
DRAWN BY: CR	PROJECT NO.: P92
CHECKED BY: JMCK	DRAWING NO.: SU-02



EXISTING SECTION 'A' - 'A'
SCALE 1:50 @ A1



EXISTING SECTION 'B' - 'B'
SCALE 1:50 @ A1

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SURVEY



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PROJECT: RENOVATIONS TO EXISTING DWELLING
SITE ADDRESS: DUNE WATCH, SEAPoint, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96
CLIENT: RONAN PAIRCE

STAGE: SURVEY	DRAWING TITLE: EXISTING SECTIONS
DATE: APRIL 2026	SCALE: 1:50 @ A1
PLOT DATE: 08.04.2026	REVISION: —
DRAWN BY: CR	PROJECT NO.: P92
CHECKED BY: JMcK	DRAWING NO.: SU-05

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EXISTING EAST ELEVATION (SIDE)
SCALE 1:50 @ A1



EXISTING WEST ELEVATION (SIDE)
SCALE 1:50 @ A1



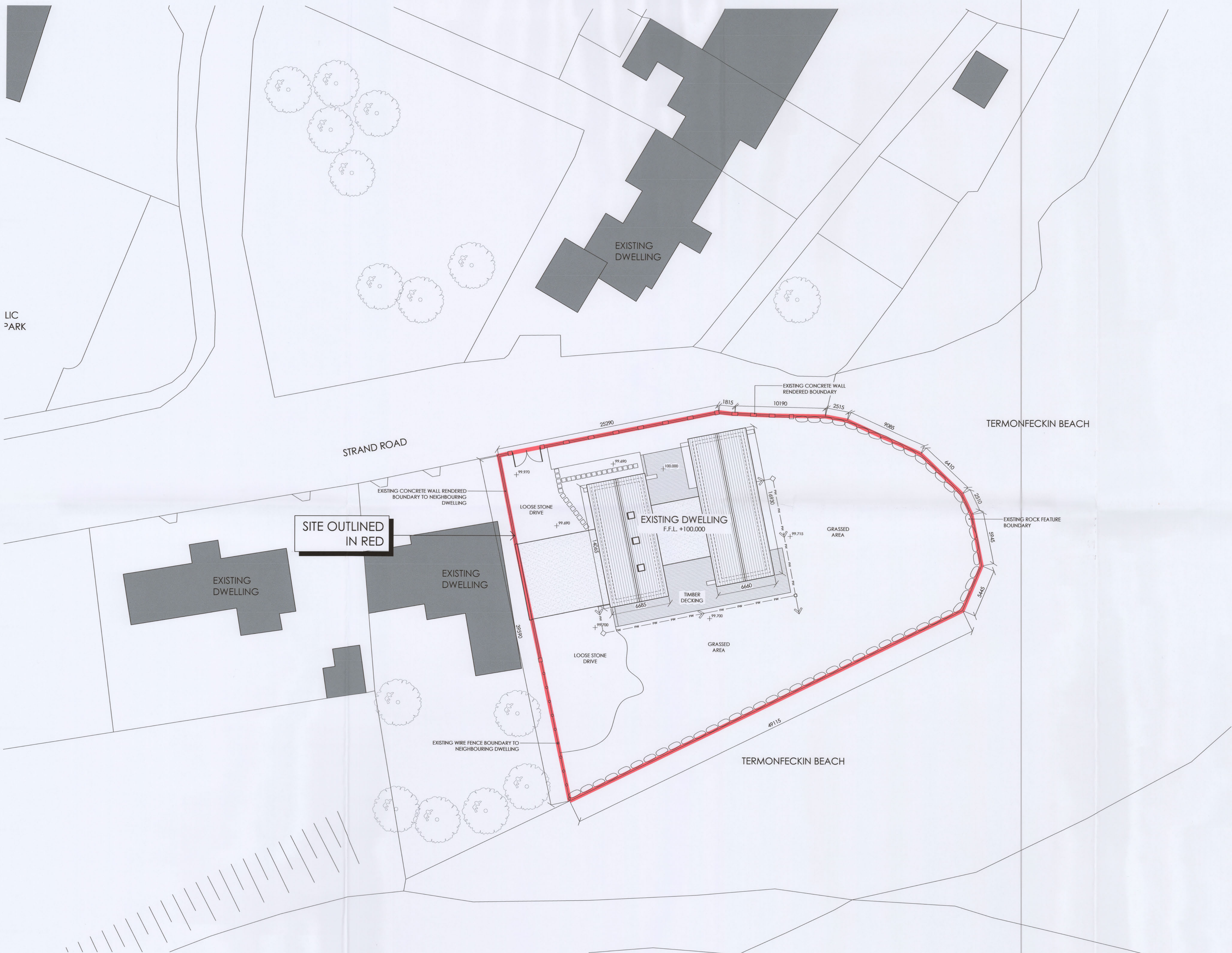
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PROJECT: RENOVATIONS TO EXISTING DWELLING	
SITE ADDRESS: DUNE WATCH, SEAPPOINT, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96	
CLIENT: RONAN PAIRCEIR	

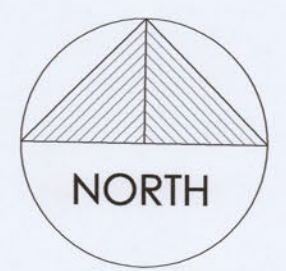
STAGE: SURVEY		DRAWING TITLE: EXISTING SIDE ELEVATIONS	
DATE:	APRIL 2026	SCALE:	1:50 @ A1
PLOT DATE:	08.04.2026	REVISION:	—
DRAWN BY:	CR	PROJECT NO.:	P92
CHECKED BY:	JMcK	DRAWING NO.:	SU-04



LIC
PARK

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EXISTING SITE LAYOUT PLAN
SCALE 1:200 @ A1

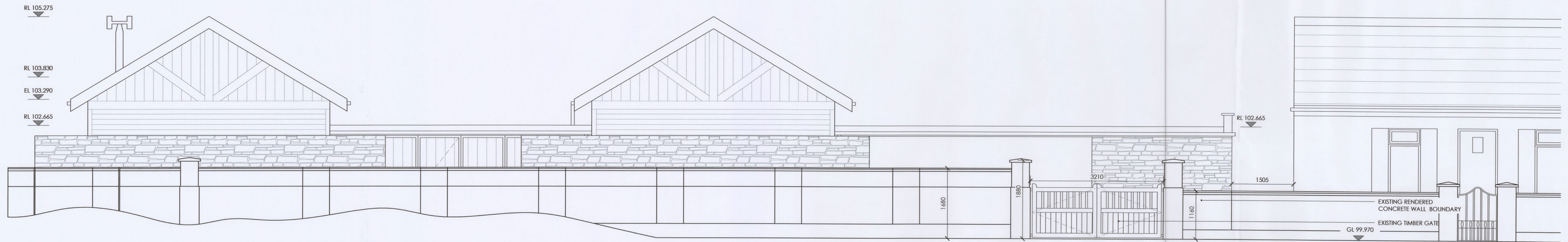
SURVEY

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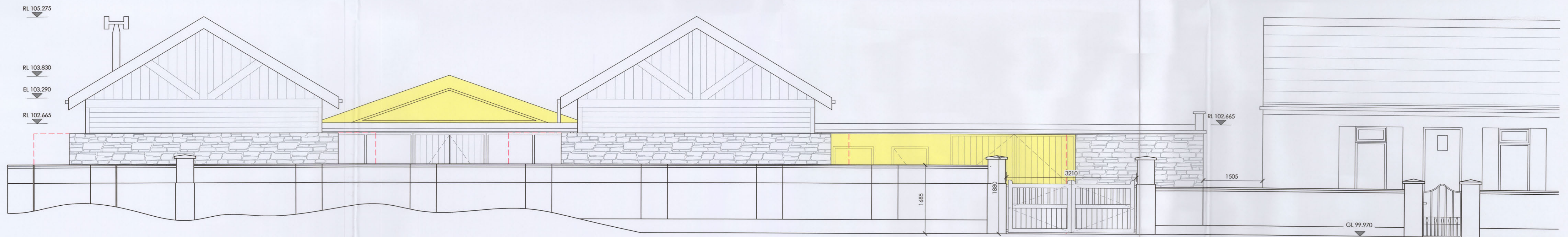
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PROJECT: RENOVATIONS TO EXISTING DWELLING
SITE ADDRESS: DUNE WATCH, SEAPPOINT, TERMONECKIN, DROGHEDA, CO. LOUTH A92 KW96
CLIENT: RONAN PAIRCEIR

STAGE: SURVEY	DRAWING TITLE: EXISTING SITE LAYOUT PLAN
DATE: APRIL 2026	SCALE: 1:200 @ A1
PLOT DATE: 08.04.2026	REVISION: --
DRAWN BY: CR	PROJECT NO.: P92
CHECKED BY: JMCK	DRAWING NO.: SU-01



EXISTING NORTH BOUNDARY ELEVATION (FRONT)
SCALE 1:50 @ A1



PROPOSED NORTH BOUNDARY ELEVATION (FRONT)
SCALE 1:50 @ A1

LEGEND

- INDICATES AREAS OF PROPOSED NEW DEVELOPMENT
- INDICATES EXTENT OF REMOVAL OF ITEMS

- GENERAL NOTES
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SECTION 5



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PROJECT: RENOVATIONS TO EXISTING DWELLING
SITE ADDRESS: DUNE WATCH, SEAPPOINT, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96
CLIENT: RONAN PAIRCEIR

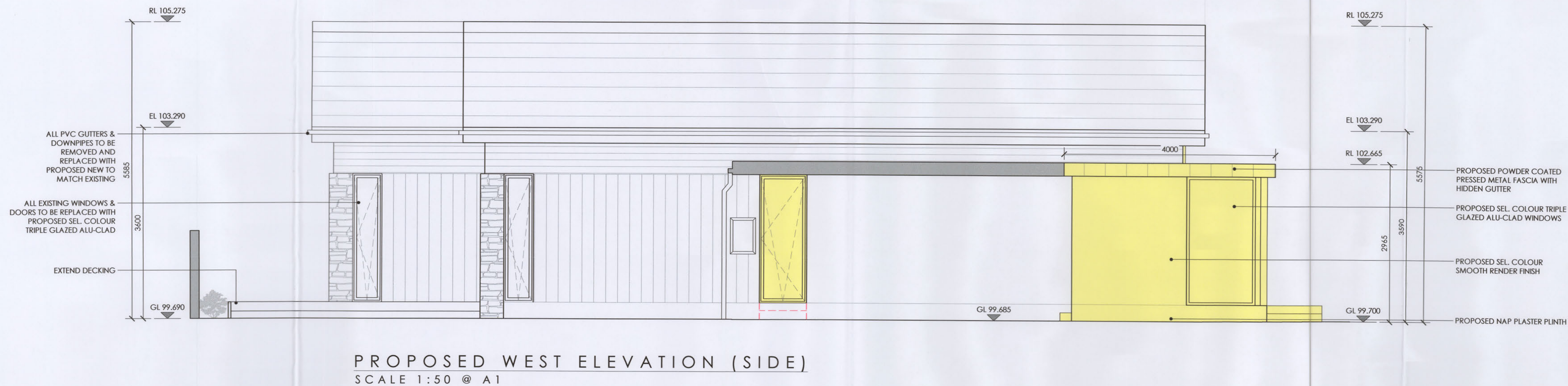
STAGE: SECTION 5	DRAWING TITLE: FRONT BOUNDARY ELEVATIONS
DATE: JULY 2026	SCALE: 1:50 @ A1
PLOT DATE: 27.07.2026	REVISION: —
DRAWN BY: CR	PROJECT NO.: P92
CHECKED BY: JMcK	DRAWING NO.: PE-08

GENERAL NOTES		
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REV.	REVISION	DATE

LEGEND

INDICATES AREAS OF PROPOSED NEW DEVELOPMENT

INDICATES EXTENT OF REMOVAL OF ITEMS



SECTION 5



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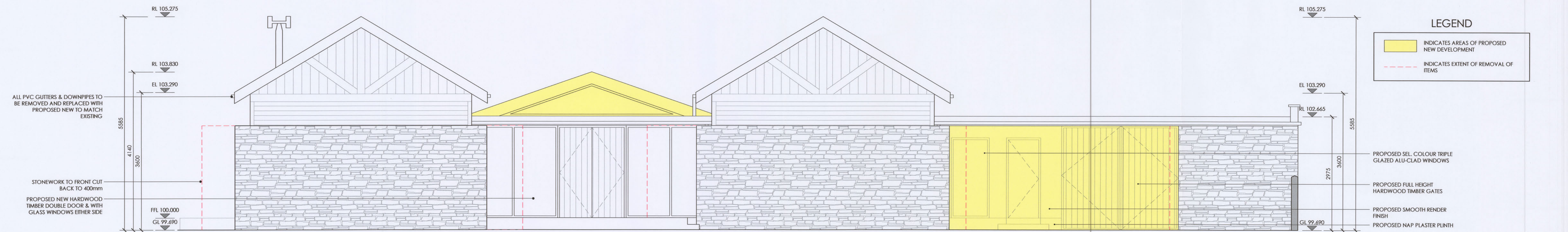
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PROJECT: RENOVATIONS TO EXISTING DWELLING	
SITE ADDRESS: DUNE WATCH, SEAPoint, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96	
CLIENT: RONAN PAIRCEIR	

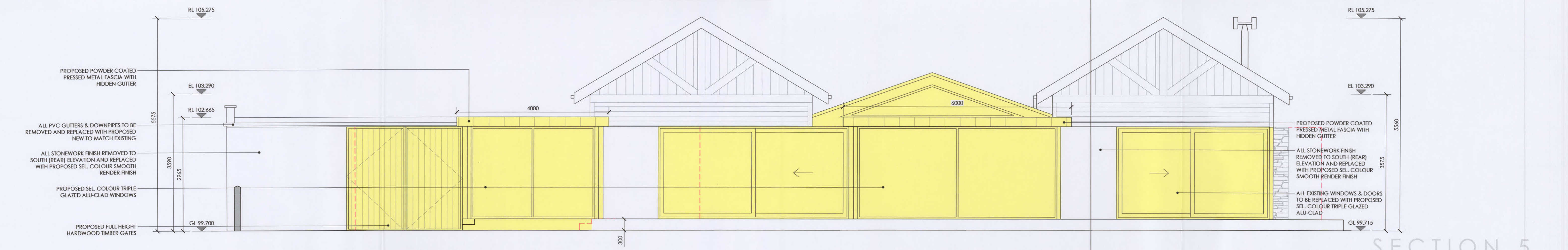
STAGE: SECTION 5	DRAWING TITLE: PROPOSED EAST & WEST ELEVATIONS	
DATE: JULY 2026	SCALE: 1:50 @ A1	
PLOT DATE: 27.07.2026	REVISION: —	
DRAWN BY: CR	PROJECT NO.: P92	DRAWING NO.: PE-06
CHECKED BY: JMCK		

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PROPOSED NORTH ELEVATION (FRONT)
SCALE 1:50 @ A1



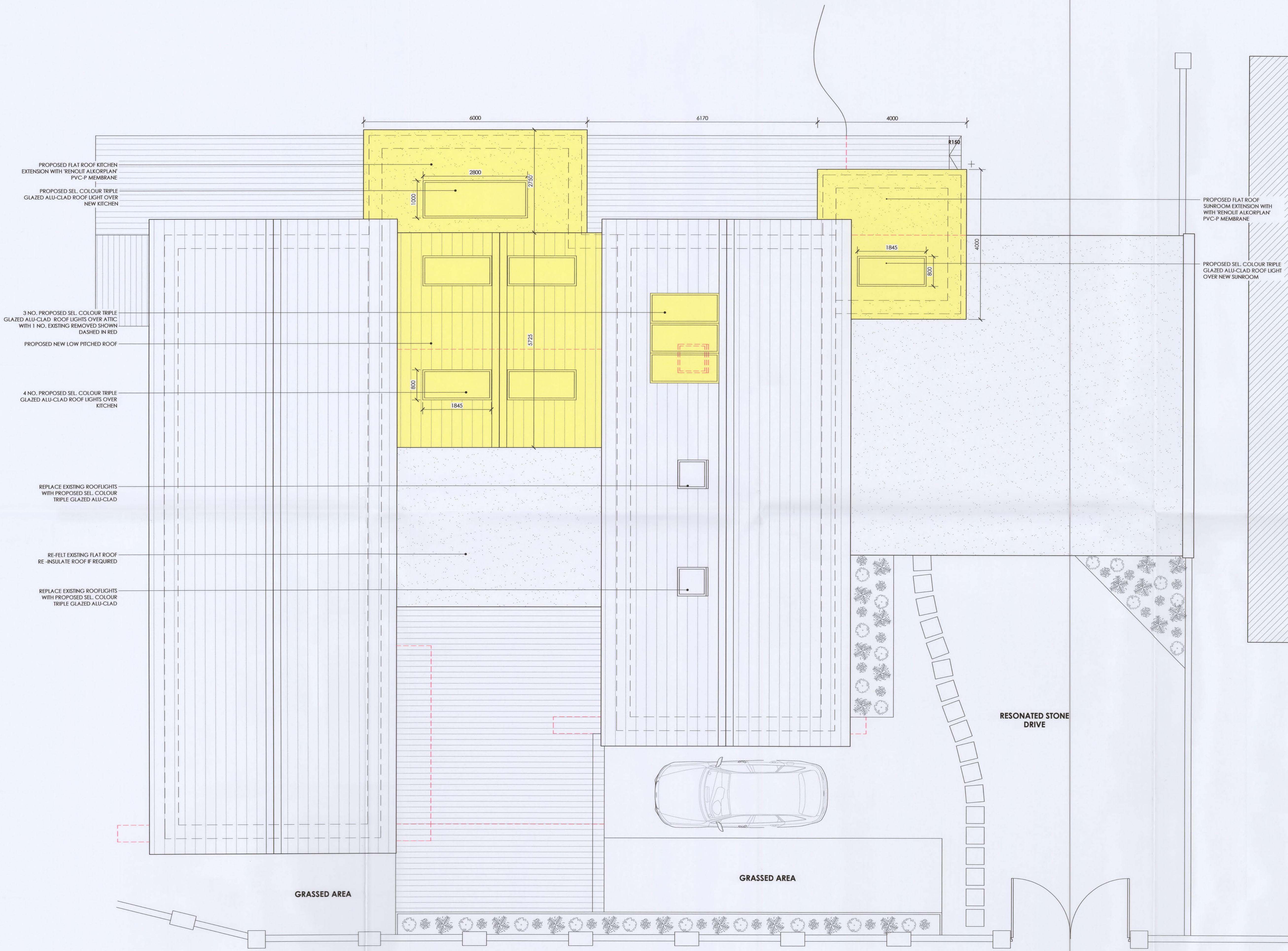
PROPOSED SOUTH ELEVATION (REAR)
SCALE 1:50 @ A1

SECTION 5

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CO. LOUTH A92 W725

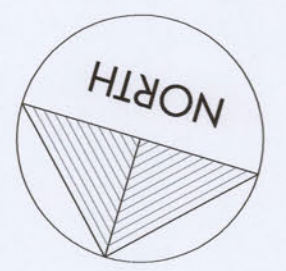
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P: 041 9832950

PROJECT: RENOVATIONS TO EXISTING DWELLING			
SITE ADDRESS: DUNE WATCH, SEAPPOINT, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96			
CLIENT: RONAN PAIRCER			
STAGE: SECTION 5	DRAWING TITLE: PROPOSED NORTH & SOUTH ELEVATIONS		
DATE: JULY 2026	SCALE: 1:50 @ A1	REVISION: -	
PLOT DATE: 27.07.2026	PROJECT NO.: P92	DRAWING NO.: PE-05	
DRAWN BY: CR	CHECKED BY: JMCK		



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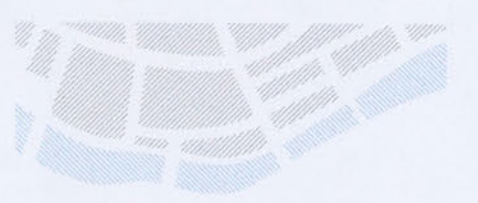


LEGEND

- INDICATES AREAS OF PROPOSED NEW DEVELOPMENT
- INDICATES EXTENT OF REMOVAL OF ITEMS

PROPOSED ROOF PLAN
SCALE 1:50 @ A1

SECTION 5

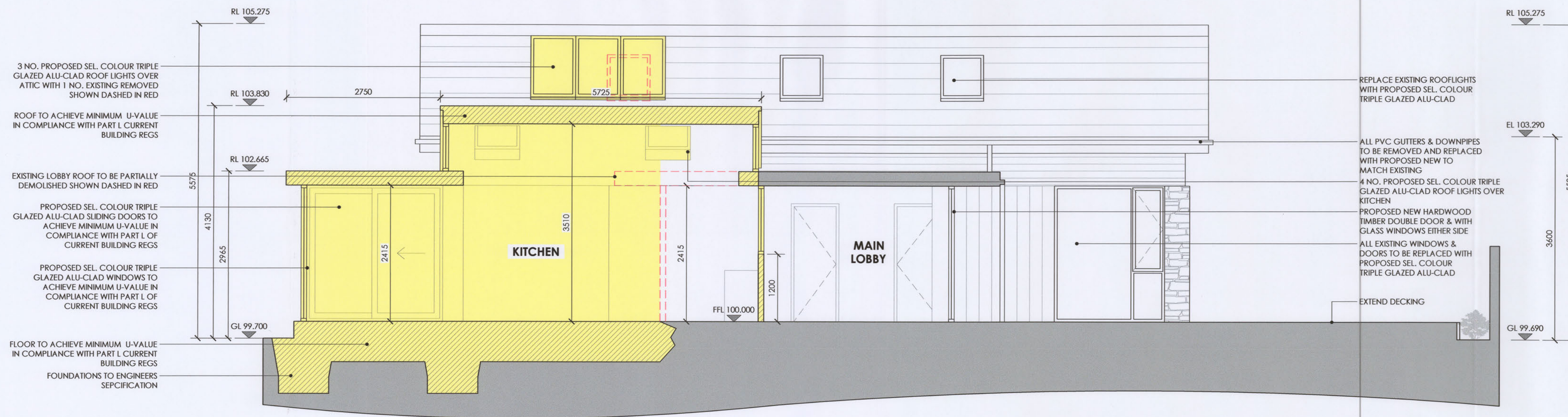


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CO. LOUTH A92 W725

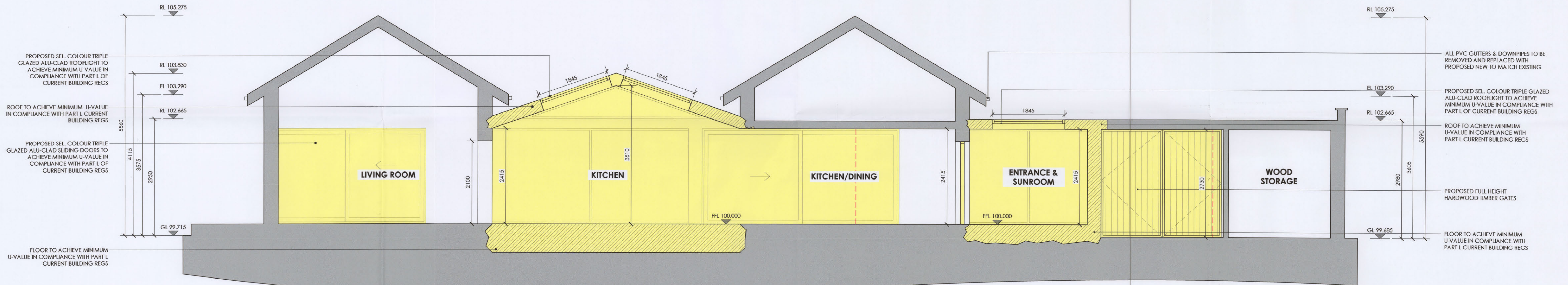
W: www.mckevittking.ie
E: info@mckevittking.ie
P: 041 9832950

PROJECT: RENOVATIONS TO EXISTING DWELLING
SITE ADDRESS: DUNE WATCH, SEAPPOINT, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96
CLIENT: RONAN FAIRCER

STAGE: SECTION 5	DRAWING TITLE: PROPOSED ROOF PLAN
DATE: JULY 2026	SCALE: 1:50 @ A1
PLOT DATE: 27.07.2026	REVISION: --
DRAWN BY: CR	PROJECT NO.: P92
CHECKED BY: JMCK	DRAWING NO.: PE-04



PROPOSED SECTION 'B' - 'B'
SCALE 1:50 @ A1



PROPOSED SECTION 'A' - 'A'
SCALE 1:50 @ A1

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LEGEND	
	INDICATES AREAS OF PROPOSED NEW DEVELOPMENT
	INDICATES EXTENT OF REMOVAL OF ITEMS

SECTION 5



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ARCHITECTS

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CO. LOUTH A92 W725

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P: 041 9832950

PROJECT: RENOVATIONS TO EXISTING DWELLING	
SITE ADDRESS: DUNE WATCH, SEAPoint, TERMonFECKIN, DROGHEDA, CO. LOUTH A92 KW96	
CLIENT: RONAN PAIRCEIR	

STAGE: SECTION 5		DRAWING TITLE: PROPOSED SECTIONS	
DATE: JULY 2026	SCALE: 1:50 @ A1		
PLOT DATE: 27.07.2026	REVISION: --		
DRAWN BY: CR	PROJECT NO.: P92	DRAWING NO.: PE-07	
CHECKED BY: JMCK			



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- LEGEND
- SITE OUTLINE IN RED
 - INDICATES AREAS OF PROPOSED NEW DEVELOPMENT
 - INDICATES EXTENT OF DEMOLITION / REMOVAL OF ITEMS
 - +99.675 INDICATES EXISTING SPOT LEVEL
 - INDICATES FOUL WATER DRAINAGE

SITE OUTLINED IN RED

SECTION 5



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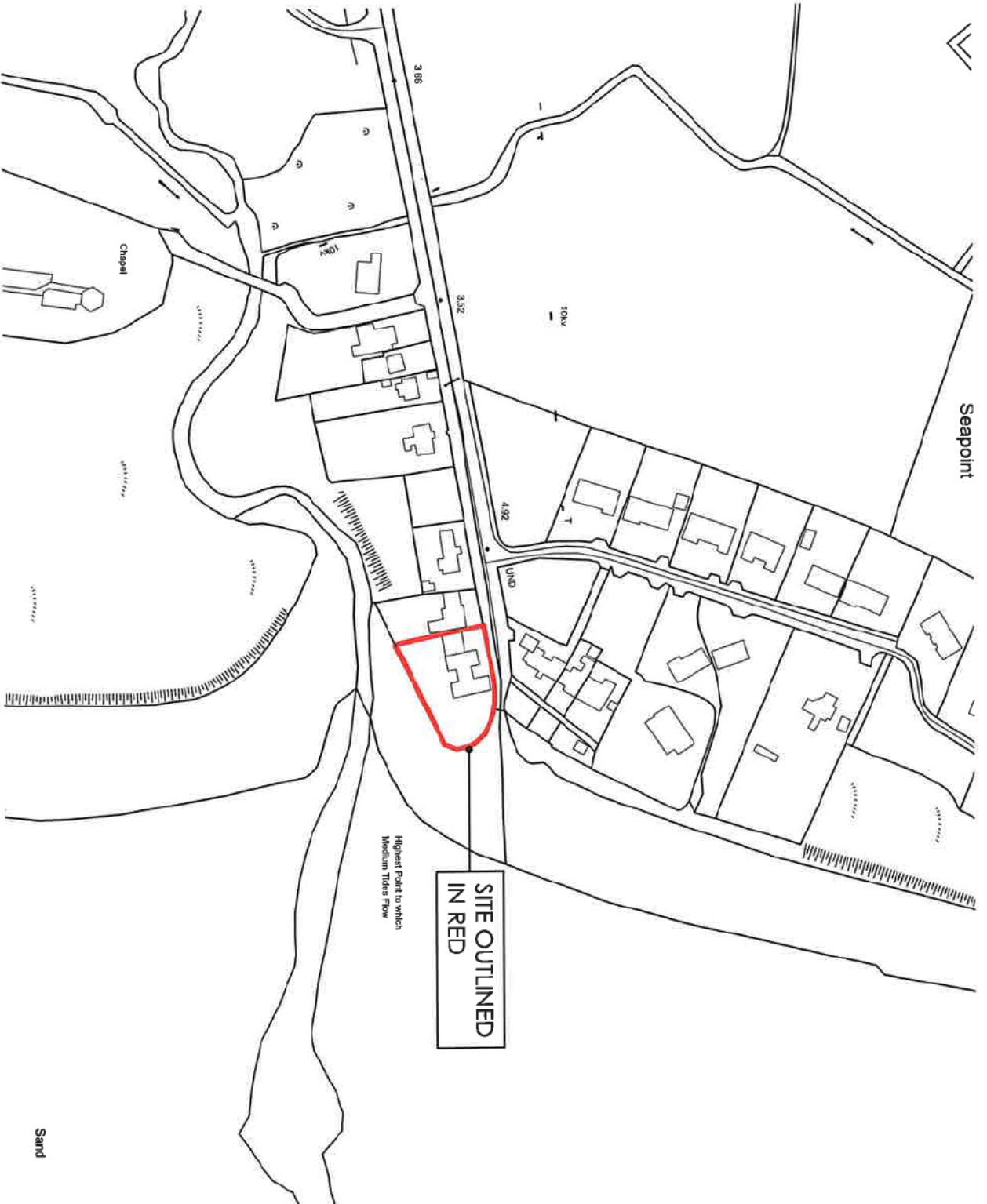
PROJECT: RENOVATIONS TO EXISTING DWELLING
SITE ADDRESS: DUNE WATCH, SEAPoint, TERMONFECKIN, DROGHEDA, CO. LOUTH A92 KW96
CLIENT: RONAN PAIRCER

STAGE: SECTION 5	DRAWING TITLE: PROPOSED SITE LAYOUT PLAN
DATE: JULY 2026	SCALE: 1:200 @ A1
PLOT DATE: 27.07.2026	REVISION: —
DRAWN BY: CR	PROJECT NO.: P92
CHECKED BY: JMCK	DRAWING NO.: PE-02

PROPOSED SITE LAYOUT PLAN
SCALE 1:200 @ A1



Seapoint



SITE OUTLINED
IN RED

Highest Point to which
Medium Tides Flow

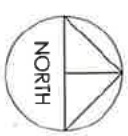
Sand

SITE LOCATION MAP
SCALE 1:2500 @ A4

GENERAL NOTES

1. Do not scale off the drawing - figured dimensions only to be taken from drawings.
2. All dimensions and/or levels to be checked on site before work commences. All dimensions and/or levels to be checked on site before work commences. All dimensions and/or levels to be checked on site before work commences.
3. Drawing to be drawn in conjunction with detailed architectural, structural, civil, environmental, etc. drawings. All dimensions and/or levels to be checked on site before work commences.
4. All work is to comply with the current Building Regulations.
5. Copyright of this drawing is vested in the Architect and must not be copied or reproduced without consent.

REV	REVISION	DATE



SITE OUTLINED IN RED
O.S. LICENCE NO. AR 00389726
O.S. REF. NO. 2194-D

MCKEVITT KING
ARCHITECTS

30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 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Louth County Council
Section 5 Declaration

Planning Ref:	S5 2026/55
Applicant's Name:	Ronan Pairceir
Type of Application:	Section 5 Declaration
Development:	The proposed development will consist of the following: a) Construction of new single-storey kitchen extension to rear of existing dwelling. b) Construction of new single-storey sunroom extension to rear of existing dwelling. c) All associated site works, Please note – total additional floor area = 44.5sqm. All works proposed are to the rear of the existing dwelling.
Site Location:	Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96.
Site Inspection	31 st July 2026
Report Date	12 th August 2026
Due Date:	25 th August 2026

1.0 SITE LOCATION AND DESCRIPTION

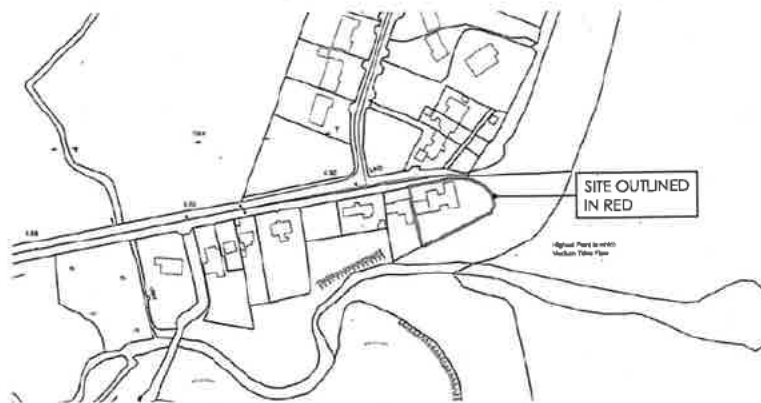


Fig.1: Site Location (Google Maps)

The site is located approximately 1km east of the settlement limits of Termonfeckin, in a coastal rural location within Rural Policy Zone 2, as per the Louth County Development Plan 2021-2027, as varied. The site itself is located directly adjacent / c.25m west of Termonfeckin Beach, sited on an elevated plot and comprises the curtilage of an existing detached single storey dwelling of contemporary design and staggered plan form, with timber cladding finish.



Fig.2-3: Existing dwelling (taken 31/07/2026.)

2.0 PLANNING HISTORY

a) Planning records:

- **File ref. 99/1512** (Dwellinghouse): Permission Granted 26/08/2000.

b) Enforcement Records:

- **02U136:** Unauthorised placement of rock armour – Case closed 17/10/2002.

3.0 DECLARATION SOUGHT

The applicant's submitted question for determination within Section 7 of the application form states:

"The proposed development will consist of the following:

- a) The construction of new single-storey kitchen extension to rear of existing dwelling.*
- b) Construction of new single-storey sunroom extension to rear of existing dwelling.*
- c) All associated site works.*

Please note – total additional floor area = 44.5sqm. All works proposed are to be carried out to the rear of the existing dwelling."

It is noted that whilst reference is made to “all associated site works,” these have not been clearly specified and whilst the particulars submitted appear to reference several additional works (including but not limited to boundary treatments, landscaping, replacement and provision of new window lights,) the reference to “associated site works” is, somewhat ambiguous and the works are not clearly specified. The Planning Authority will therefore assess the following rephrased question:

“Whether the following is or is not development and is or is not exempted development:

- a) The construction of a new single-storey kitchen extension to the rear of the existing dwelling*
- b) The construction of a new single-storey sunroom extension to the rear of the existing dwelling.*

(Total floor area 44.5m²)

At Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96.”

The applicant has submitted the following particulars for consideration:

- Section 5 Declaration Application Form.
- Covering letter (McKevitt King Architects)
- Drawing No. P92_PE-01 - Site Location Map
- Drawing No. P92_PE-02 – Proposed Site Layout Plan
- Drawing No. P92_PE-03 – Proposed Ground Floor Plan
- Drawing No. P92_PE-04 – Proposed Roof Plan
- Drawing No. P92_PE-05 – Proposed North & South Elevations
- Drawing No. P92_PE-06 – Proposed East & West Elevations
- Drawing No. P92_PE-07 – Proposed Sections
- Drawing No. P92_PE-08 -
- Drawing No. SU-01 – Existing Site Layout Plan
- Drawing No. SU-02 – Existing Ground Floor Plan
- Drawing No. SU-03 – Existing Front & Rear Elevations
- Drawing No. SU-04 – Existing Side Elevations
- Drawing No. SU-05 – Existing Sections

4.0 EIA SCREENING AND DETERMINATION

Council Directive 85/337/EEC (as amended) on the assessment of the effects of certain public and private projects on the environment (‘the EIA Directive’) is designed to ensure that projects likely to have significant effects on the environment are subject to a comprehensive assessment of their environmental effects prior to development consent being granted. The latest amendments to the EIA Directive are provided under Directive 2014/52/EU and Circular letter PL 1/2017.

Based on information provided and having considered the nature, size and location of the subject development, I am satisfied that there is no real likelihood of significant effects on the environment and as such, an EIAR is not required.

5.0 APPROPRIATE ASSESSMENT

No screening report has been provided with this application. Having regard to the nature and scale of the subject (small scale domestic) development and the nature of the receiving, no appropriate assessment issues arise and it is not considered that the existing development would be likely to have a significant effect individually or in combination with other plans or projects on a European site (Special Area of Conservation or Special Protected Area) and as such an Appropriate Assessment (Stage 2 AA) is not required.

6.0 LEGISLATIVE CONTEXT

S.I. No. 662/2024 - The Planning and Development Act 2024 (Commencement) Order 2024

The Planning and Development Act 2024 (Commencement) Order 2024 states:

"The 2nd day of December 2024 is appointed as the day on which the following provisions of the Planning and Development Act 2024 (No. 34 of 2024) shall come into operation:

- (a) Sections 1 to 5;*
- (b) Part 26*

The Planning and Development Act 2024

Section 2 states:

"development" means—

- (a) the carrying out of works—**
 - (i) on, in, over or under land, or**
 - (ii) on, in, over or under the maritime area,**

or

- (b) the making of a material change in the use of—**
 - (i) land or any structure on land, or**
 - (ii) the sea, seabed or any structure, in the maritime area,****and includes the reclamation of land in the nearshore area;**

"exempted development" means—

- (a) development of a class prescribed under section 9 , or**
- (b) development that is exempted development by virtue of section 152;**

"alteration" includes, in relation to a structure—

- (a) plastering or painting,**
 - (b) the removal of plaster or stucco, and**
 - (c) the replacement of a door, window or roof,**
- that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures;**

"Structure" means—

- (a) a building, edifice, construction, excavation, or other thing constructed or made on, in or under any land, or a maritime site, or any part thereof, or
- (b) the land or maritime site on, in or under which such building, edifice, construction, excavation, other thing or part is situated;

"Unauthorised development" means, in relation to land or a maritime site—

- (a) unauthorised works (including the construction, erection or assembly of an unauthorised structure), or
- (b) an unauthorised use;

"Unauthorised works" means any works on, in, over or under land or a maritime site, other than—

- (a) exempted development,
- (b) development carried out in accordance with—
 - (i) a permission granted under Part IV of the Act of 1963 or deemed to be so granted under section 92 of that Act,
 - (ii) a permission granted under section 34, 37G, 37N or 293 of the Act of 2000,
 - (iii) a permission granted under section 9 of the Planning and Development (Housing) and Residential Tenancies Act 2016, or
 - (iv) a permission granted under Part 4,
- (c) Chapter 6 State authority development within the meaning of Part 4,
- (d) development required by—
 - (i) a notice under section 339,
 - (ii) an order under section 341,
 - (iii) an enforcement notice under section 350, or
 - (iv) a planning injunction under section 351,

or

- (e) development carried out in accordance with—
 - (i) a licence under section 13, or
 - (ii) a licence under section 254 of the Act of 2000;

"unauthorised works" means any works on, in, over or under land or a maritime site, other than—

- (a) exempted development,
- (b) development carried out in accordance with—
 - (i) a permission granted under Part IV of the Act of 1963 or deemed to be so granted under section 92 of that Act,
 - (ii) a permission granted under section 34, 37G, 37N or 293 of the Act of 2000,
 - (iii) a permission granted under section 9 of the Planning and Development (Housing) and Residential Tenancies Act 2016, or
 - (iv) a permission granted under Part 4,
- (c) Chapter 6 State authority development within the meaning of Part 4,
- (d) development required by—

- (i) a notice under section 339,
- (ii) an order under section 341,
- (iii) an enforcement notice under section 350, or
- (iv) a planning injunction under section 351,
- or
- (e) development carried out in accordance with—
 - (i) a licence under section 13, or
 - (ii) a licence under section 254 of the Act of 2000;

"Works" includes an act or operation—

- (a) of construction, excavation, demolition, extension, alteration, repair or renewal (including in relation to a protected structure, a proposed protected structure or a structure situated in an architectural conservation area), on, in, over or under land or a maritime site,
- (b) consisting of the application of plaster, paint, wallpaper, tiles or other material to the surface of a protected structure or proposed protected structure or the removal of plaster, paint, wallpaper, tiles or other material from such surface, and
- (c) consisting of the application of plaster, paint, wallpaper, tiles or other material to the exterior of a structure situated in an architectural conservation area or the removal of plaster, paint, wallpaper, tiles or other material from such exterior.

The Planning and Development Act, 2000 (as amended)

Section 4(1): Provides a list of statutory exempted development, including:

Section 4(1)(h) which states: "Development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures".

Section 5 states:

- (1) "If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.
- (2) (a) Subject to paragraph (b), a planning authority shall issue the declaration on the question that has arisen and the main reasons and considerations on which its decision is based to the person who made the request under subsection (1), and, where appropriate, the owner and occupier of the land in question, within 4 weeks of the receipt of the request.
- (b) A planning authority may require any person who made a request under subsection (1) to submit further information with regard to the request in order to enable the authority to issue the declaration on the question and, where further

information is received under this paragraph, the planning authority shall issue the declaration within 3 weeks of the date of the receipt of the further information.

(c) A planning authority may also request persons in addition to those referred to in paragraph (b) to submit information in order to enable the authority to issue the declaration on the question."

Section 32:

Section 32 sets out a general obligation to obtain planning permission in respect of any development of land, not being exempted development, and in the case of development, which is unauthorised, for the retention of that unauthorised development.

Circular Letter PLR 02/2026:

The Planning and Development (Exempted Development) (Act of 2000) (Regulations 20206) – S.I. No. 338 of 2026.

These Regulations came into effect on 27th July 2026 and take into account the review of the Exempted Development Regulations, including input from a public consultation process undertaken in summer 2025, for residential dwellings and the following amendments are relevant to this assessment:

Part 1 of Schedule 2 of the Principal Regulations is amended by the substitution of Class 1 with the following:

Colum 1	Column 2
Description of Development	Conditions and Limitations:
Development within the curtilage of a house CLASS 1 The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house of any garage, store, shed or other similar structure attached to the rear or to the side of the house.	1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 45 square metres. (b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres. (c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres. 2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 45 square metres.

	(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres. (c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 20 square metres. 3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary. 4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house. (b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house. (c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling. 5. The construction or erection of any such extension to the rear of the house shall not reduce the total area of private open space within the curtilage of the house, reserved exclusively for the use of the occupants of the house to less than 25 square metres. 6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.
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	(b) Any window proposed above ground level in any such extension shall not be less than 8 metres from the boundary it faces. (c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 8 metres from the boundary it faces. 7. The roof of any extension shall not be used as a balcony or terrace. 8. This exemption shall only be used on the principal house and not any additional detached house within the curtilage of the principal house.
--	--

The Planning and Development Regulations 2001, (as amended)

Part 2, Article 6 (1) states:

(1) Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

Part 2, Article 9 (1): Restrictions on Exempted Development:

Article 9(1) sets out the restrictions on exemption and the instances whereby development to which article 6 relates shall not be exempted development for the purposes of the Act.

7.0 ASSESSMENT

Does the subject works constitute development?

In having regard to the definition of 'development' within Section 2 of the Planning and Development Act 2024, as outlined above, the provision of:

- a) *A single-storey kitchen extension to rear of existing dwelling.*
- b) *A single-storey sunroom extension to rear of existing dwelling and*
- c) *Associated site works*

with an overall floor area of 44.5m² constitutes construction on the existing land and therefore constitutes 'development,' as defined in Section 2 of the Planning and Development Act, 2024.

Do the works constitute exempt development?

The submitted particulars indicate the extent of the subject rear extensions, which are directly adjoined to the rear / side building line of the original dwelling via a new low pitched roof (kitchen extension) and flat roof (sunroom extension) respectively. The

kitchen extension has a floor area of 35.5m² and the entrance / sunroom extension has a floor area of 9m² (44.5m² additional floorspace in total.)

The proposed development falls within Part 1, Class 1 of Schedule 2 of the Planning and Development (Exempted Development (Act of 2000) Regulations 2026, i.e.:

Proposed extensions:

Development within the curtilage of a house

Class 1

'The extension of a house, by the construction or erection of an extension (including a conservatory) to the rear of the house or by the conversion for use as part of the house any garage, store, shed or other similar structure attached to the rear or to the side of the house.'

In having regard to the submitted details and to the conditions and limitations as set out on Column 2 of Class 1, the following considerations are noted:

1. (a) Where the house has not been extended previously, the floor area of any such extension shall not exceed 45 square metres.

The subject dwelling has not been previously extended and the floor area of the proposed extensions is 44.5m² which complies with this condition.

(b) Subject to paragraph (a), where the house is terraced or semi-detached, the floor area of any extension above ground level shall not exceed 12 square metres.

This subject dwelling is detached and as such, this is N/A.

(c) Subject to paragraph (a), where the house is detached, the floor area of any extension above ground level shall not exceed 20 square metres.

The proposed extensions are single storey and as such, this is N/A.

2. (a) Where the house has been extended previously, the floor area of any such extension, taken together with the floor area of any previous extension or extensions constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 45 square metres.

The subject dwelling has not been previously extended.

(b) Subject to paragraph (a), where the house is terraced or semi-detached and has been extended previously, the floor area of any extension above ground level taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for which planning permission has been obtained, shall not exceed 12 square metres.

The subject dwelling is detached and as such, this is N/A.

(c) Subject to paragraph (a), where the house is detached and has been extended previously, the floor area of any extension above ground level, taken together with the floor area of any previous extension or extensions above ground level constructed or erected after 1 October 1964, including those for

which planning permission has been obtained, shall not exceed 20 square metres.

The subject dwelling is detached however has not been extended previously.

3. Any above ground floor extension shall be a distance of not less than 2 metres from any party boundary.

The proposed extensions are single storey and as such, this is N/A.

4. (a) Where the rear wall of the house does not include a gable, the height of the walls of any such extension shall not exceed the height of the rear wall of the house.

The rear wall of the existing house includes 2 no. gables and as such, this is N/A.

(b) Where the rear wall of the house includes a gable, the height of the walls of any such extension shall not exceed the height of the side walls of the house.

The rear wall of the existing dwelling includes 2 no. gables. The proposed extensions reach a height of 2.965m which is 400mm lower than the height of the side walls to the western and eastern sides of the dwelling.

(c) The height of the highest part of the roof of any such extension shall not exceed, in the case of a flat roofed extension, the height of the eaves or parapet, as may be appropriate, or, in any other case, shall not exceed the height of the highest part of the roof of the dwelling.

The sunroom extension including flat roof is lower than the height of the eaves of the existing roof within the property. The kitchen extension which has a pitched roof, does not exceed the highest part of the existing roof, as required.

5. The construction or erection of any such extension to the rear of the house shall not reduce the area of private open space, reserved exclusively for the use of the occupants of the house, to the rear of the house to less than 25 square metres.

The proposed extensions would not result in a remaining private amenity area of less than 25m².

6. (a) Any window proposed at ground level in any such extension shall not be less than 1 metre from the boundary it faces.

The proposed openings to the western, southern (rear) and eastern elevations are not positioned less than 1m from the opposing boundaries which they face.

(b) Any window proposed above ground level in any such extension shall not be less than 8 metres from the boundary it faces.

There are no upper floor windows proposed within the single storey development.

(c) Where the house is detached and the floor area of the extension above ground level exceeds 12 square metres, any window proposed at above ground level shall not be less than 8 metres from the boundary it faces.

There are no upper floor windows proposed within the single storey development.

7. The roof of any extension shall not be used as a balcony or roof garden.

The proposed roof plan does not indicate the provision of a balcony or roof garden to any of the proposed elements within the scheme, including flat roof sunroom extension.

8. This exemption shall only be used on the principal house and not any additional detached house within the curtilage of the principal house.

This application for a Section 5 declaration relates to the principal and sole dwelling house on the site.

In having regard to the above, the subject development would not (on the basis of the submitted details, and observations on site,) contravene any of the conditions and limitations within Class 1 of the Planning and Development (Exempted Development (Act of 2000) Regulations 2026.

Restrictions on exempted development

In having regard to the restrictions on exempted development within Article 9(1) of the Regulations, the following comments are noted:

Article 9(1)(a):

(i) The proposed development would not contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act.

(ii) The proposed development would not consist of or comprise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,

(iii) The proposed development would not endanger public safety by reason of traffic hazard or obstruction of road users,

(iiia) The proposed development would not endanger public safety by reason of hazardous glint and/or glare for the operation of airports, aerodromes or aircraft,

(iv) The proposed development would not, comprise the construction, erection, extension or renewal of a building on any street so as to bring forward the building, or any part of the building, beyond the front wall of the building on either side thereof or beyond a line determined as the building line in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(v) The proposed development would not consist of or comprise the carrying out under a public road of works other than a connection to a wired broadcast relay service, sewer, water main, gas main or electricity supply line or cable, or any works to which class 25, 26 or 31 (a) specified in column 1 of Part 1 of Schedule 2 applies,

(vi) The proposed development would not interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the

making of a new development plan, in the draft variation of the development plan or the draft development plan,

(vii) The proposed development would not consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,

(viiA) The proposed development would not consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,

(viiB) The proposed development would not comprise development in relation to which a planning authority An Coimisiún Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,

(viii) The proposed development would not consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,

(viiC) The proposed development would not consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000. (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,

(ix) the proposed development would not consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(x) The proposed development would not consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,

(xi) The proposed development would not obstruct any public right of way,

(xii) further to the provisions of section 82 of the Act, the proposed development would not consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.

Accordingly, I am satisfied that the proposed development would not contravene the limitations within Article 9(1)(a) whilst the provisions of Article 9(1)(b), (c) and (d) are not applicable.

Therefore in accordance with Part 2, Article 6 (1,) of the Planning and Development Regulations 2001, as amended, the proposed development shall be exempted development for the purposes of the Act, as it complies with the conditions and limitations specified in column 2 of the said Part 1 of Class 1 and would not contravene any of the restrictions within article 9.

8.0 CONCLUSION

In having regard to the foregoing, the proposed construction of a new single-storey kitchen extension to rear of existing dwelling and the proposed construction of a new single-storey sunroom extension to rear of existing dwelling (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96,

is development that is exempted development.

9.0 RECOMMENDATION:

Accordingly, I recommend that an Order along the following lines is issued:

WHEREAS a question has arisen pursuant to Section 5 of the Planning and Development Act 2000 whether the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, is or is not development and is or is not exempt development,

AND WHEREAS Louth County Council, in consideration of this question has had regard particularly to:

- (a) The definition of "development" in Section 2 of the Planning & Development Act 2024 (as amended).
- (b) The Planning and Development (Exempted Development) (Act of 2000) Regulations 2026 (S.I. No. 338 of 2026.)
- (c) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended.)
- (d) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended.)

- (e) The plans and particulars submitted to the Planning Authority on 30th July 2026,
- (f) The Planning records pertaining to the site.
- (g) The existing development as observed on site.

AND WHEREAS Louth County Council has concluded: -

- (a) The 'the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, Co. Louth **constitutes development** under Section 2 of the Planning & Development Act, 2024 and;
- (b) The proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, as per Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended) and would comply with the conditions and limitations specified in column 2 of this class and;
- (c) The aforementioned proposed development would not, contravene any of the restrictions on exemption as outlined in Article 9(1) of the Planning and Development Regulations, 2001 (as amended)

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that:

the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, Co. Louth **is development** and **is exempted development**.



Orla Rooney
Assistant Planner
Date: 11/08/2026



David Hall
A/Senior Executive Planner
Date: 12/08/2026



Turlough King
A/Senior Planner
Date: 12/08/2026

LOUTH COUNTY COUNCIL

CHIEF EXECUTIVE'S ORDER

PLANNING & DEVELOPMENT ACT 2000 (as amended)

Section 5 Exempted Development

Chief Executive's Order No:	614A/2026
Reference No:	S5 2026/55
Date Application Received:	28/07/2026
Description of Development:	Whether the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m ²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96', is or is not development and is or is not exempt development
Name of Applicant:	Ronan Pairceir
Location of Development	Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92-KW96'

WHEREAS a question has arisen pursuant to Section 5 of the Planning and Development Act 2000 as to "*Whether the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96*" is or is not development and is or is not exempt development

AND WHEREAS the said question was referred to Louth County Council by Ronan Pairceir

AND WHEREAS Louth County Council, in consideration of this question has had regard particularly to:

- (a) The definition of "*development*" in Section 2 of the Planning & Development Act 2024 (as amended).
- (b) The Planning and Development (Exempted Development (Act of 2000) Regulations 2026 (S.I. No. 338 of 2026.)
- (c) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended.)
- (d) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended.)
- (e) The plans and particulars submitted to the Planning Authority on 30th July 2026,

- (f) The Planning records pertaining to the site.
- (g) The existing development as observed on site.

AND WHEREAS Louth County Council has concluded: -

- (a) The 'the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, Co. Louth **constitutes development** under Section 2 of the Planning & Development Act, 2024 and;
- (b) The proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, as per Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended) and would comply with the conditions and limitations specified in column 2 of this class and;
- (c) The aforementioned proposed development would not, contravene any of the restrictions on exemption as outlined in Article 9(1) of the Planning and Development Regulations, 2001 (as amended)

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that:

the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, Co. Louth **is development** and **is exempted development**.

ORDER: In pursuance of the powers conferred upon the Council by the above Act, I concur with the above recommendation and I hereby direct that a **Declaration of Exemption be GRANTED** for the development as described above.

Signed:


Turlough King
Acting Senior Planner

Date:

12/08/26

To whom this function has been delegated in accordance with the provisions of Section 154 of the Local Government Act, 2001 by Order No. CE.S 380/26 dated 31st day of July 2026.



Comhairle Contae Lú
Louth County Council

Ronan Pairceir
c/o McKevitt King Architects
50 North Road
Drogheda
Co Louth
A92KW96

Date: 12/08/2026

Re: Ref. S5 2026/55

Application for Declaration of "Exempted Development" Part 1, Section 5 Planning & Development Act, 2000 (as amended) as to 'Whether the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96', is or is not development and is or is not exempt development.

Dear Sir/Madam,

I wish to acknowledge receipt of your application received on 28th July 2026 in relation to the above. Having assessed all information and enclosures received with the application, the Planning Authority wishes to advise as follows: -

WHEREAS a question has arisen pursuant to Section 5 of the Planning and Development Act 2000 as to "*Whether the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96*" is or is not development and is or is not exempt development

AND WHEREAS the said question was referred to Louth County Council by Ronan Pairceir.

Comhairle Contae Lú
Halla an Bhaile
Sráid Crowe
Dún Dealgan
Contae Lú
A91 W20C

Louth County Council
Town Hall
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Cuirfear fáilte roimh chomhfhreagras Gaeilge - Correspondence in Irish is welcome
Féach foláirimh faoi Lú ón gComhairle ag www.mapalserter.ie/Louth
View Council alerts for Louth at www.mapalserter.ie/Louth

AND WHEREAS Louth County Council, in consideration of this question has had regard particularly to:

- (a) The definition of “development” in Section 2 of the Planning & Development Act 2024 (as amended).
- (b) The Planning and Development (Exempted Development) (Act of 2000) Regulations 2026 (S.I. No. 338 of 2026.)
- (c) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended.)
- (d) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended.)
- (e) The plans and particulars submitted to the Planning Authority on 30th July 2026,
- (f) The Planning records pertaining to the site.
- (g) The existing development as observed on site.

AND WHEREAS Louth County Council has concluded: -

- (a) The ‘the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, Co. Louth **constitutes development** under Section 2 of the Planning & Development Act, 2024 and;
- (b) The proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, as per Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 2001 (as amended) and would comply with the conditions and limitations specified in column 2 of this class and;
- (c) The aforementioned proposed development would not, contravene any of the restrictions on exemption as outlined in Article 9(1) of the Planning and Development Regulations, 2001 (as amended)

NOW THEREFORE Louth County Council in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000 (as amended), hereby decides that:

the proposed construction of a new single-storey rear kitchen extension and the proposed construction of a new single-storey rear sunroom extension (total floor area 44.5m²) at Dune Watch, Seapoint, Termonfeckin, Drogheda, Co. Louth, A92 KW96, Co. Louth **is development** and **is exempted development**.

In Summary

A Declaration of Exemption is hereby GRANTED for the development as detailed on the plans and particulars submitted on 28th July 2026.

This decision may be referred by you to An Coimisiún Pleanála for review within 4 weeks of the date of this letter subject to the payment of the appropriate fee.

Yours faithfully,

A handwritten signature in blue ink that reads "Brian Duffy". The signature is fluid and cursive, with the first name "Brian" and last name "Duffy" clearly distinguishable.

Brian Duffy
Planning Section