



Declaration

In accordance with Part IV, Section 57 (2) of the Local Government (Planning and Development) Act, 2000 (as amended).

Louth County Council:

This declaration specifies what works would, or would not, in the opinion of the planning authority materially affect the character of the protected structure, or any element thereof, and, as a result, require planning permission. Under the Act, protection extends to the entire structure including its interior and the land lying within its curtilage. It also extends to any other structures lying within the curtilage of the protected structure, to their interiors and to all fixtures and features that form part of the interior or exterior of any of these structures. Where specified in the Record of Protected Structures, protection may also extend to any other feature within the attendant grounds of the protected structure.

Nothing in this declaration exempts works that would not otherwise be exempt from a requirement for planning permission. Changes of use or intensification of the current use may require planning permission. If in doubt, the owner/occupier should consult the planning authority for further advice before commencing any works.

This Declaration may be referred to An Bord Pleanála for review within 4 weeks of its issue, upon payment of the requisite fee in accordance with Part IV, Section 57 (8) of the Planning & Development Act 2000 as amended.

Applicant Name:	Brendan Grogan (Louth County Council)		
Status (i.e. Owner or Occupier):	Owner (Louth County Council)		
Date of Request for Declaration:	28 th January 2025	Date of Inspection:	4 th February 2025
Date of Issue of Declaration:	28/03/2025	Previous Declarations:	None

Address:		Location:	
Name of Building:	Corn Exchange	National Grid co-ordinates:	E N
Address 1:	Fair Street	O.S. Map Type:	
Address 2:	Drogheda	Map Sheet:	
Address 3:	Co Louth	Site Number:	
Eircode:	A92 P440		

Protection Status:	Y / N	Details:
<small>Under the Planning and development Act 2000 (as amended)</small> Record of Protected Structures:	Y ✓ N	RPS DB-069
Architectural Conservation Area:	Y ✓ N	Fair Street including Council Borough Offices
<small>Under the Planning and development Act 2000 (as amended)</small> Record of Monuments and Places:	Y N ✓	
Zone of Archaeological potential:	Y ✓ N	ZAP 1 - Drogheda
Preservation Order or Temporary P.O.:	Y N ✓	

NIAH Registration No. (if applicable):

13618043

Introduction:

The referrer has sought a Section 57 declaration as per the Planning and Development Act 2000 (as amended) in respect of works to a protected structure known as the Corn Market at Fair Street, Drogheda.



Protection Status:

Under the Planning and Development Act 2000 (as amended), the Record of Protected Structures is set out in the Louth County Development Plan 2021-2027, as varied.

The building (RPS DB-069a) is described as -

Former Cornmarket, 1796, by Francis Johnston. Limestone ashlar with round headed arches. Originally an open market with arcades on four sides with offices to Fair St. It demonstrates the fashion for architectural primitivism which was fashionable throughout Europe in the late eighteenth century.

Planning History:

Planning Ref: 20738- PART 8: Louth County Council hereby give notice of its intention to carry out amendments to development at Drogheda Civic Offices permitted under previous Part 8 Application Ref. No. 18/727.

Planning Ref: 18727- PART 8: The refurbishment and development shall comprise the following: 1. Refurbishment of the existing council office building - 52-53 Fair Street (Single Storey PROTECTED STRUCTURE-ref DB-069A; NIAH ref.no.13618043). 2. Refurbishment of the former council chamber building - 54 Fair Street (Two Storey PROTECTED STRUCTURE ref - DB-069b & NIAH ref.no.13618044) 3. Refurbishment of the Former Community Services Building - 55-56 Fair Street (Two Storey PROTECTED STRUCTURE ref no. DB-082. NIAH ref. 13618045) 4. Provision of a new infill building to the existing PROTECTED STRUCTURE is also being created to link the main office building with the Community Services and Valhalla buildings. 5. Alterations of the staff car park entrance onto Bolton Square Car Park.

Planning Ref: 15590- Part 8: Permission required to carry out refurbishment and extension of Drogheda Civic Offices on Fair Street, Drogheda, Co. Louth. The proposed works are to protected structures and are within Architectural Conservation Area No. 4 - Fair Street and adjacent to Architectural Conservation Area No. 1 - Bolton Square as designated in the Drogheda Borough Council Development Plan 2011 - 2017. Refurbishment to comprise of the following: 1. Refurbishment of an existing council office building 52-53 Fair Street (single storey protected structure ref DB 069a; NIAH ref. no. 13618043. 2. Refurbishment of the former council chamber building 54 Fair Street (Two storey protected structure ref DB 069b; NIAH ref. no. 13618044. 3. Refurbishment of the former community services building 55-56 Fair Street (two storey protected structure ref. no. DB 82; NIAH 13618045. 4. Provision of a new infill building to the existing protected structures is also being created to link the main office with the Community Services and Valhalla buildings. 5. Alteration of the staff car park entrance onto Bolton Square car park.

Description of the Structure:

The NIAH appraisal of the property includes –

- Detached multiple-bay single- and two-storey stone former market, dated 1796, court house addition c. 1850, now in use as offices.
- Plan comprising;
 - two parallel ranges attached to main façade, south;
 - three-bay two-storey central block flanked by single-storey wings, integral carriage arches, terminating with pedimented breakfronts, former court house attached to north elevation of south range.
 - Pitched and hipped slate roofs, clay ridge and hip tiles, central block surmounted by painted timber lantern and weathervane, moulded cast-iron gutters on stone corbelled eaves course, square-profile cast-iron downpipes, lead flashing to central parapet.
 - Ashlar limestone walling to south elevation, chamfered plinth course, ashlar limestone string courses to main block, rubble stone walling to west elevation, ashlar limestone dressings, painted smooth rendered ruled-and-lined render to interior walling, limestone block-and-start quoins to north elevation of former court house;
 - ashlar limestone Doric columns support roof of interior walls to east and west.

- Square-headed window openings, ashlar limestone surrounds, timber multiple-pane casement windows, round-headed window openings to central block (former door openings), timber spoked fanlights surmounting full-length timber and glazed casement windows, segmental-headed window openings (former carriage arches) to east and west of south elevation, projecting ashlar limestone surround, dentil cornice, timber and glazed casement windows surmounting timber panelled base, tooled limestone carriage stops flank openings.
- Round-headed door opening to south elevation, central block, ashlar limestone surround, keystone, leaded stained glass fanlight containing Drogheda Town Insignia, timber panelled double doors, accessed by concreted steps and ramp; square-headed door openings to terminating pedimented breakfronts to east and west of south elevation, plain-glazed overlight, vertical glazing bars, timber panelled door;
- Segmental-headed door opening to former court house, fanlight dated 1999, surmounts ashlar limestone surround, timber spoked fanlight, timber panelled double doors flanked by sidelights. Interior reworked, stone floored reception located at central block, leading to atrium connected to former court house behind.

Designed by Francis Johnston in 1786/7 and built in 1796, this former corn market displays all the characteristics of neo-Classical architecture with a symmetrical plan and pleasing proportions. The timber entablature is particularly notable and unusual. It demonstrates the fashion for architectural primitivism which was fashionable throughout Europe in the late eighteenth century. The corn market served as the town's market place and was later altered by the insertion of the court house in the mid-nineteenth century. The Corporation moved to the corn market in 1899, and a recent renovation plan has taken place ensuring the future of this fine classical building.

Referral Question:

Would works materially affect the character of the protected structure and as a result, require planning permission?

The works will include:

- Part of the internal roof structure is to be repaired. Envisaged repairs to the stonework that supports the wooden structural beams.
- Full electrical upgrade. Strip out of existing services.
- Internal wall and ceiling insulation fabric upgrade.
- Replacement of existing grid ceiling to facilitate all works.
- Minor adjustments of certain internal walls to suit new furniture layout.
- Upgrade of existing heating system including installation of new radiators, replacing oil and gas burners.

**Legislative Provision:**

Section 57(1) of the Planning and Development Act 2000 (as amended) states 'that notwithstanding Sections 4(1)(h) and any regulations made under Section 4(2), the carrying out of works to a protected structure, or proposed protected structure shall be exempted development only if those works would not materially affect the character of:

- a) the structure; or
- b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Assessment:

The Planning Authority has reviewed the submitted Section 57 Declaration form and associated structural report. The works are assessed below:

Internal Attic /Roof Repairs

A structural report by Duffy Chartered Engineering pertaining to the repair works to the roof has been submitted. The scope of the report was to identify structural defects, wet rot, dry rot, woodworm or high moisture content in timbers. The report goes into detail on observations and recommendations. In terms of recommendations the works to the roof include:

- Metal work to posts stripped back and repainted as well as timber being treated with suitable timber preservative.
- Adequate insulation to be provided where it is considered poor as well as 50mm gap between plasterboard and insulation to allow rafters to breathe.
- Firestopping is required to flue that runs through attic and roof as well as some piping.
- Works also include repair of section of the wall where kingpost truss joins as well as repairs to rafters.

It is noted that a structural engineer and a preservation architect are to advise on repairs and that a registered stonemason to carry out the works assisted by the main contractor.

Assessment

The works to the attic listed above are remedial in nature and seek to ensure that the structural integrity of the building is maintained. These works will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Full Electrical Upgrade. Strip Out of Existing Services

There is no information submitted detailing the extent of the electrical works other than that noted above. However, it is noted that there will be no alteration to structure or external façade.

**Assessment**

It is considered that in order to ensure the building is fit for modern office purposes and provided that the strip out and upgrade does not involve works to the exterior of the building I would be satisfied that these will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Internal wall and ceiling insulation fabric upgrade

There is limited detail provided in terms of which internal walls are involved in the insulation fabric upgrade. However these are likely to be internal stud walls used to partition work areas / offices.

Assessment

As noted above, the walls involved in the insulation fabric upgrade are highly unlikely to be original features, rather stud walls erected to facilitate the use of the building as office accommodation. This work along with upgrading of the insulation fabric behind the suspended ceilings will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Replacement of existing grid ceiling to facilitate all works

The grid suspended ceiling is to be removed and replaced in order to allow for the work in the internal roof / attic area.

Assessment

I am satisfied that the replacement of the grid ceiling will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest

Minor adjustments of certain internal walls to suit new furniture layout

The drawing titled ground floor plan (Drg. no. 3026-5-402) and the drawing titled the demolition works (Drg. No. 3026-5-401) that accompanies the S57 Declaration clarifies the areas within the building that are to undergo minor adjustments.

Assessment

These walls are not part of the original historic fabric, and I am satisfied that these works will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Upgrade of existing heating system including installation of new radiators, replacing oil and gas burners

Whilst there is limited detail on the upgrade of the existing heating system it is noted that there will be no alterations to any building structure or any façade.

Assessment

On the basis that there will be no alterations to any building structure or façade I am satisfied that these works will not materially affect the character of the structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

Any further documentation attached (maps, photographs, sketches, notes etc.)?

- Signed S57 Declaration form
- Drawing- Demolition works- Drg. No. 3026-5-401
- Drawing- Proposed ground floor plan -Drg. no. 3026-5-402
- Drawing- Proposed floor & ceiling finishes - Drg. No. 3026-5-403
- Structural survey report
- Updated structural survey report

WHEREAS a question has arisen as to whether the proposed development detailed under Section 10 of the Request for Section 57 Declaration would or would not materially affect the character of protected structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest at the Corn Exchange, Fair Street, Drogheda, Co. Louth.

AND WHEREAS Brendan Grogan, Louth County Council requested a declaration on the question from Louth County Council on the 21st January 2025.

AND WHEREAS Louth County Council in considering this referral, had regard particularly to –

- a) Section 2 of the Planning and Development Act 2000, as amended,
- b) Section 3 of the Planning and Development Act 2000, as amended,
- c) Section 4 (1)(h) of the Planning and Development Act 2000, as amended,
- d) Section 57 of the Planning and Development Act, 2000 as amended,
- e) The Architectural Heritage Protection Guidelines for Planning Authorities,
- f) The special interest pertaining to the protected structure in question and
- g) The nature and extent of works set out in the referral question which seeks whether:
 - Part of the internal roof structure is to be repaired. Envisaged repairs to the stonework that supports the wooden structural beams.
 - Full electrical upgrade. Strip out of existing services.
 - Internal wall and ceiling insulation fabric upgrade.



- Replacement of existing grid ceiling to facilitate all works.
 - Minor adjustments of certain internal walls to suit new furniture layout.
 - Upgrade of existing heating system including installation of new radiators, replacing oil and gas burners.
- would materially affect the character of the protected structure and require planning permission

AND WHEREAS Louth County Council has concluded that –

- (i) the stated works to the protected structure comprise of works and are, therefore, development, and
- (ii) the stated works would not materially affect the character of the structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest,
- (iii) the stated works would consist of the carrying out of works for the maintenance, improvement and alteration of this structure which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

NOW THEREFORE Louth County Council, in exercise of the powers conferred on it by Section 57 of the 2000 Act as amended, hereby decides that the proposed works to the Corn Exchange, Fair Street, Drogheda, Co. Louth as detailed above, **constitutes development that is exempted development.**

Signed by Inspector

Signed by Planning Authority Officer

Conor Campfield, Senior Executive Planner

Turlough King, Senior Executive Planner

Date:

Date:

20/03/2025

20/03/2025

LOUTH COUNTY COUNCIL

CHIEF EXECUTIVE'S ORDER

PLANNING & DEVELOPMENT ACT 2000 (as amended)

Section 57 Declaration – Works to a Protected Structure

Chief Executive's Order No: 210/2025

Reference No: S57 DB25-01

Date Application Received: 28th January 2025

Description: Envisaged repairs to stonework that supports the wooden structural beams.
Part of the internal roof structure is to be repaired.
Full electrical upgrade. Strip out of existing services.
Internal wall and ceiling insulation fabric upgrade.
Replacement of existing grid ceiling to facilitate all works.
Minor adjustments of certain internal walls to suit new furniture layout.
Upgrade of existing heating system including installation of new radiators, replacing oil and gas burners.

Name of Applicant: Brendan Grogan (LCC)

Location of Development Corn Exchange, Fair Street, Drogheda,
Co. Louth A92 P440

WHEREAS a question has arisen as to whether the proposed development detailed under Section 10 of the Request for Section 57 Declaration would or would not materially affect the character of protected structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest at the Corn Exchange, Fair Street, Drogheda, Co. Louth.

AND WHEREAS Brendan Grogan, Louth County Council requested a declaration on the question from Louth County Council on the 21st January 2025.

AND WHEREAS Louth County Council in considering this referral, had regard particularly to –

- a) Section 2 of the Planning and Development Act 2000, as amended,
- b) Section 3 of the Planning and Development Act 2000, as amended,
- c) Section 4 (1)(h) of the Planning and Development Act 2000, as amended,
- d) Section 57 of the Planning and Development Act, 2000 as amended,
- e) The Architectural Heritage Protection Guidelines for Planning Authorities,
- f) The special interest pertaining to the protected structure in question and
- g) The nature and extent of works set out in the referral question which seeks whether:
 - o Part of the internal roof structure is to be repaired. Envisaged repairs to the stonework that supports the wooden structural beams.
 - o Full electrical upgrade. Strip out of existing services.
 - o Internal wall and ceiling insulation fabric upgrade.
 - o Replacement of existing grid ceiling to facilitate all works.
 - o Minor adjustments of certain internal walls to suit new furniture layout.
 - o Upgrade of existing heating system including installation of new radiators, replacing oil and gas burners.

would materially affect the character of the protected structure and require planning permission

AND WHEREAS Louth County Council has concluded that –

- (i) the stated works to the protected structure comprise of works and are, therefore, development, and
- (ii) the stated works would not materially affect the character of the structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest,
- (iii) the stated works would consist of the carrying out of works for the maintenance, improvement and alteration of this structure which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

NOW THEREFORE Louth County Council, in exercise of the powers conferred on it by Section 57 of the 2000 Act as amended, hereby decides that the proposed works to the Corn Exchange, Fair Street, Drogheda, Co. Louth as detailed above, **constitutes development that is exempted development.**

SIGNED: 

Turlough King
Senior Executive Planner

Dated: 27th March 2025

ORDER: In pursuance of the powers conferred upon the Council by the above Act, I concur with the above recommendation and I hereby direct that a **Section 57 Declaration of Exemption be Granted** for the works, as described above.

SIGNED: 

Thomas McEvoy
Director of Services

Dated: 28th March 2025

To whom this function has been delegated in accordance with the provision of Sections 154 of the Local Government Act 2001 by Order No CE.S. 25/25 dated the 20th day of January 2025.



PLANNING AND DEVELOPMENT ACT 2000 (as amended) REQUEST FOR SECTION 57 DECLARATION

The above Act provides that notwithstanding section 4(1)(a), (h), (i), (j), (k), or (l) and any regulations made under section 4(2) of the Act, the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

(a) the structure, or

(b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest

As an owner or occupier of a protected structure you are entitled under the above Act to make a written request to the Planning Authority to issue a Declaration as to the type of works which it considers would or would not materially affect the character of the structure or of any element (as set out in Section 57(3) of the Planning and Development Act 2000 as amended) of that structure.

In order to allow for consideration of this request, please supply the following information:

1. Name of Applicant: Brendan Grogan
2. Address of Protected Structure: Eircode: A92 P440
Corn Exchange, Fair Street, Drogheda, Co.Louth
3. Correspondence of Protected Structure:
(if different from 2 above)
4. NIAH Ref. No. 13618044 Louth RPS Ref. No. DB-069a
5. Is the structure owner occupied or rented? Occupied
6. If rented, state name and address of owner:
7. Use of structure
(residential, commercial etc.) office space
8. Has a Declaration been sought previously? no
9. Are you aware of any (1) previous planning application/s or (2) enforcement proceedings pertaining to this site? (If so, please give details):
no



PLANNING AND DEVELOPMENT ACT 2000 (as amended) REQUEST FOR SECTION 57 DECLARATION

10. Please provide a brief description of the nature and scale of the development proposed (both internal and external) in particular the works that you are seeking a declaration for
- Parts of internal roof structure to be repaired. From structural report by Duffy Chartered Engineering. We envisage this is only repairs to the stonework that supports the wooden structural beams. Structural engineer and a preservation architect to advise on repairs. Registered stone mason to carry out these works assisted by the main contractor.
- Full electrical upgrade. Strip out of existing services. No alteration to structure or external façade regarding works.
- Internal wall and ceiling insulation fabric upgrade.
- Replacement of existing grid ceiling to facilitate all works.
- Minor adjustment of certain internal walls to suit new furniture layouts etc.
- Upgrade of existing heating system. This involves new radiators. Replacing oil burners with gas burners. No alterations to any building structure or any façade.

Please note that the accuracy and relevance of the Declaration made by the Planning Authority is informed by the information furnished by the applicant.
Any deviation from the information provided may require the re-consideration of the declaration.

11. Please provide a Site Location Map to the scale of 1:1000 clearly identifying the structure and boundaries to which this application refers. The subject structure should be outlined in **red** and overall landholding to be outlined in **blue**

I wish to apply for a declaration from Louth County Council as to the type of works as outlined above, which may or may not require permission in the above named structure.

Signed: *Brendan O'Connell* Date: *28/1/25*
Daytime contact telephone number: *086 169 3571*

It should be noted that the Council is normally obliged to issue this declaration within three months (12 weeks) of a request being made.

You will be contacted within this period to arrange an appointment for a suitably qualified person to carry out a detailed survey of the internal and external features of the structure.

Please Return Completed Form To:

Conservation, Planning Dept., Louth County Council,
Town Hall, Crowe Street, Dundalk, A91 W20C
Email: conservation@louthcoco.ie



Roof Survey
Louth County Council
Civic Offices
Fair Street
Drogheda
Co Louth
A92 P440

Our ref: 4799

Structural Survey Report

Date: 25/09/2024

DCE IRL

Second Floor, Avenue Road Centre,
Avenue Road, Dundalk, Co. Louth
Ireland

(t) 00 353 42 935 1600
(e) info@dce.ie

Document Control Sheet

Project	Roof Survey, Louth County Council, Civic Offices, Fair Street, Drogheda, Co Louth, A92 P440
Project No.	4799
Document Title	Structural Survey
Document Ref.	D01

Contents	No. of Pages
Cover Sheet	1
Control Sheet	1
Table of Contents	0
Text	33
Table of Tables	0
Table of Figures	0
No. of Appendices	0
Total no. of Pages	35

Rev	Distribution	Comments	Author	Checked	Approved	Day	Month	Year
0	Louth County Council	Report issued	GJB	DL	GJB	25	September	2024

Second Floor, Avenue Road Centre,
Avenue Road, Dundalk
Co. Louth, A91 FT92 Ireland

Tel +353 42 935 1600

Email info@dce.ie

Web www.dce.ie

**Mr Brendan Grogan
Louth County Council
County Hall
Millennium Centre
Dundalk
A91 KFW6**

Our ref. 4799

Date: 25/09/2024

Re: Roof Survey Louth County Council Civic Offices, Fair Street, Drogheda, Co Louth

Dear Brendan

Further to your request for a survey, we inspected the above named property on the morning of 17/09/ 2024, following which we report to you as follows:-

1. Scope of Survey

The scope of the survey was to identify: -

- * structural defects;
- * wet rot, dry rot, woodworm or high moisture content in timbers.

The survey was non-destructive and visual only. The exterior was inspected from ground level only. It is not possible to comment about the state of repair of the building elements where no access was available. The survey does not inspect any other aspects of the building other than the roof. Consequently, the survey does not purport to have identified all occurrences of the above-mentioned defects. The survey did not include the inspection of any outbuildings, the study of mechanical, electrical or plumbing and drainage services, architectural finishes or compliance with planning legislation or building regulations. This survey is not a general defects or 'snag' list. Whilst some routine or non-structural defects, which were observed during the structural survey, may be listed, this report is not a comprehensive list of such defects.

2. Description

- 2.1 The property surveyed consists of a Roof Survey at Louth County Council Civic Offices, Fair Street, Drogheda, Co Louth
- 2.2 The roof is pitched with slate covering.
- 2.3 Timber Facia and soffits.
- 2.4 Gutters and downpipes are of aluminium and cast iron construction.

3. Extent of Survey



Figure 1 Extent of the survey outlined above.

4. Observations and Recommendations

4.1 ATTIC

- 225mm block wall with timber traversing from the boiler room to the adjoining office area. The fire compartmentation within this area should be reviewed to ensure adequate fire compartmentation if provided from the boiler room to the office area.



Photograph 1 – King Post and party wall

- The block work should be fire stopped at the underside of the roof.



Photograph 2 – Adequate fire stopping to be provided

- The metal work to the king posts should be stripped back and repainted.
- The timber work should be treated with a suitable timber preservative.



Photograph 3 – Metal and timber treatment to be provided

- Insulation within certain areas of the building would be of a poor standard. The roofs should be adequately insulated as part of any future refurbishment works coupled with appropriate air tightness levels.



Photograph 4 – Metal and timber treatment to be provided

- The underside of the rafters has been plaster boarded for the majority of the building. At the locations where inspection could be undertaken the void between the plasterboard and the underside of the roof covering has been filled with insulation. This results in the timber being unable to breathe adequately and can result in deterioration of the roofing timbers. It is recommended that during any refurbishment works that the roofs be insulated allowing for a minimum 50mm of air gap between the insulation and the underside of the roofing.



Photograph 5 – Lack of air gap between insulation and underside of roof

- Holes were noted from one compartment to another. Any penetrations in the roof zone should be fire stopped appropriate to the fire rating of the location.





Photograph 6 – Fire stopping required

- The flue should be reviewed to ensure that it is not in proximity to combustible material as it penetrates the roof.



Photograph 7 – Fire stopping required

- Stones have been dislodged at the kingpost truss where it rests on the wall. This area should be rebuilt.



Photograph 8 – Section of wall to be rebuilt

- Some evidence of moisture ingress was noted to rafters. Ends of rafters appear to have been adversely affected with wet rot at some stage in the past as new timbers adjacent to the existing have been fixed. Where significant refurbishment of the building is being undertaken it may be prudent to make an allowance for localised repair of the roof where leaks are apparent.



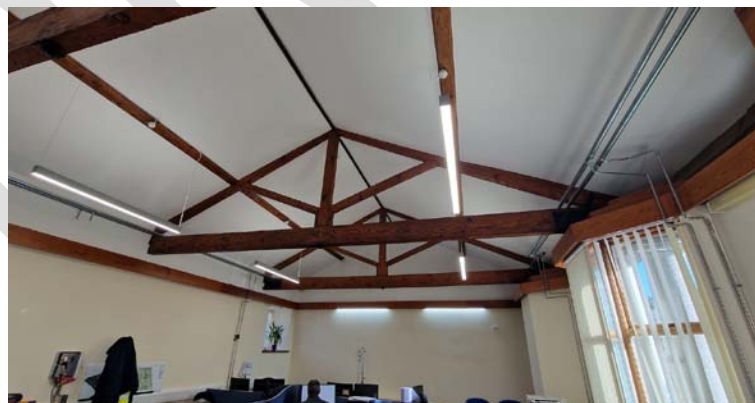
Photograph 9 – Repairs to existing rafters

- A strut to the king post to the engineer's office area adjacent to the boiler room is not abutting the main king post. This is most likely historic and there does not appear to be any deflections noted. The gap between the post and the strut should be packed.



Photograph 10 – Kingpost strut

- The underside of the rafters to the engineer's office has been plaster boarded for the majority of the building. At the locations where inspection could be undertaken the void between the plasterboard and the underside of the roof covering has been filled with insulation. This results in the timber being unable to breathe adequately and can result in deterioration of the roofing timbers. It is recommended that during any refurbishment works that the roofs be insulated allowing for a minimum 50mm of air gap between the insulation and the underside of the roofing.



Photograph 11 – Plasterboard to rafters

- The underside of the rafters to the office area adjacent to the engineer's office has been plaster boarded. At the locations where inspection could be undertaken the void between the plasterboard and the underside of the roof covering has been filled with insulation. Access was available to the tank room off this office area. This results in the timber being unable to breathe adequately and can result in deterioration of the roofing timbers. It is recommended that during any refurbishment works that the roofs be insulated allowing for a minimum 50mm of air gap between the insulation and the underside of the roofing. No access was available in this area to inspect the roof structure.





Photograph 12 – Insulation to underside of roof

- Some cracking of the timber king post was noted this cracking of the bottom chord should be monitored for further signs of movement and strengthened where deemed necessary.



Photograph 13 – Kingpost strut

- Within the 'tank room' significant significant Pigeon guano was noted. This appeared to be historic. It is recommended that any guano be removed and the attics made secure to ensure pigeons can't gain access.



Photograph 14 – Pigeon Guano

- Within the housing capital office there was no access to the attic of the property.



Photograph 15 – Plasterboard ceiling

- Within the Senior Executive/architect housing office there was no access to the attic of the property a plasterboard flat ceiling existed.



Photograph 16 – Plasterboard ceiling

- The hall way adjacent to the above offices consisted of a plasterboard flat ceiling and a suspended tile ceiling. The Property Inspection unit office has also had a suspended flat ceiling. A ceiling tile was removed to gain access to the attic. Above the suspended ceiling was chicken wire supporting insulation, no access to the attic could be gained. The depth of insulation that was noted would not meet current standards. The entire roof area should be stripped of insulation and reinsulated in accordance with current standards incorporating appropriate air tightness and ventilation to attic spaces. Adequate access to all attics should be provided and these accesses should be readily identifiable.



Photograph 17 – Insulation and chicken wire

- Limited access was achieved over the plasterboard ceiling. This revealed insulation. The insulation had a significant amount of debris and this insulation should be removed and replaced in keeping with a strategy to improve the thermal performance of the property.



Photograph 18 – Debris on insulation

- Within the large open plan office area adjacent to Fairstreet consisted of a suspended tile ceiling. Ceiling tiles were removed to gain access to the attic. Above the suspended ceiling was chicken wire supporting insulation, no access to the attic could be gained. The depth of insulation that was noted would not meet current standards. The entire roof area should be stripped of insulation and reinsulated in accordance with current standards incorporating appropriate air tightness and ventilation to attic spaces. Adequate access to all attics should be provided and these accesses should be readily identifiable.



Photograph 19 – Insulation to attic

- Velux windows were noted to this area. These are inaccessible and should be replaced as part of any refurbishment incorporating new flashing with thought put into maintenance into the future.



Photograph 20 – Kingpost strut

- Within the interview room and adjacent room staining was noted to the ceiling tiles. This indicates that there has or is a leak. No access was achievable due to the chicken wire and insulation. As part of the refurbishment works the leaks to the roof should be repaired.







Photograph 21 – Water staining on ceiling tiles

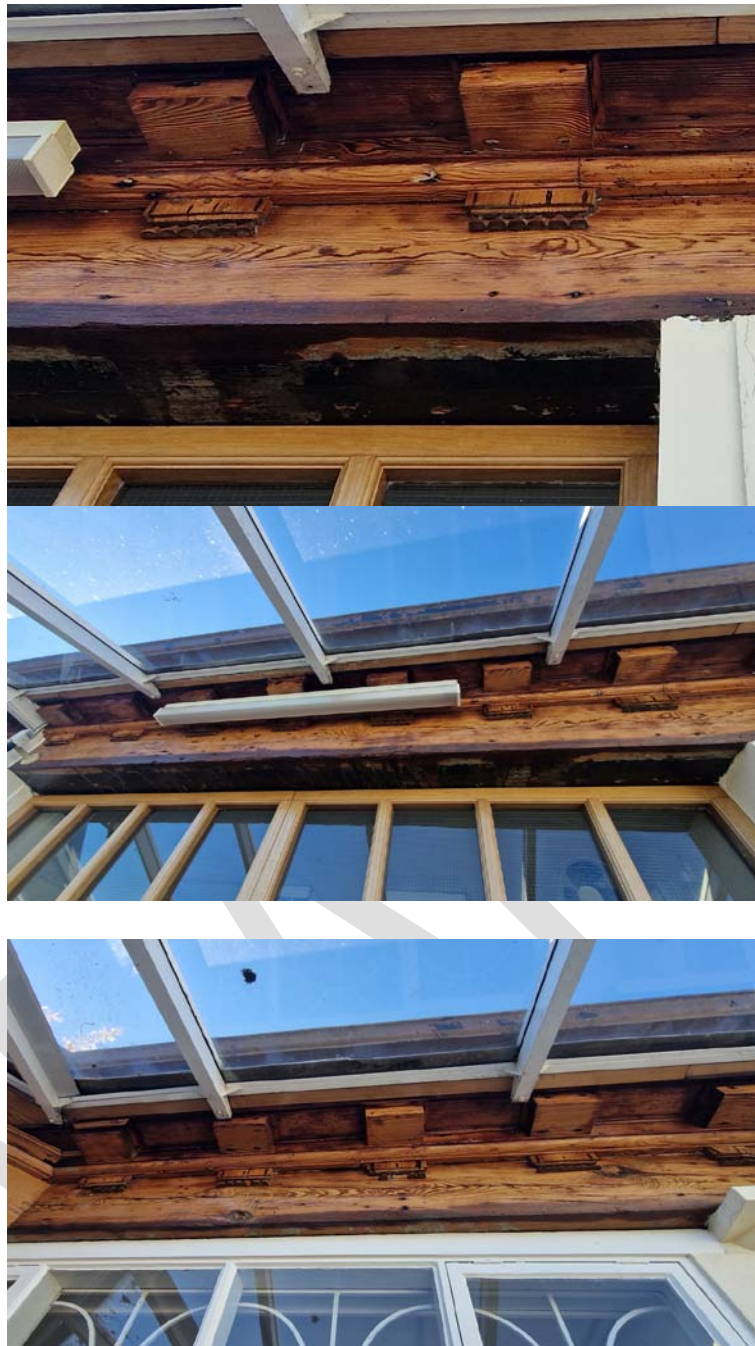
- Within the double height space no access was available to the attic.



Photograph 22 – No access to Attic

- The glazing lean-to appears to be letting in water; this is affecting the ornate timber beam and detail. It is recommended that the flashing on the exterior of the building is repaired as necessary to ensure that rain does not penetrate the building. Robust detailing of the gutter and associated flashing will be required.







Photograph 23 – Water penetration at lean-to

- Some evidence of insect attack to the timber beam was noted. This may be historic. It is recommended that a specialist inspect all timbers within the building and treat them as necessary when remedial works are ongoing.



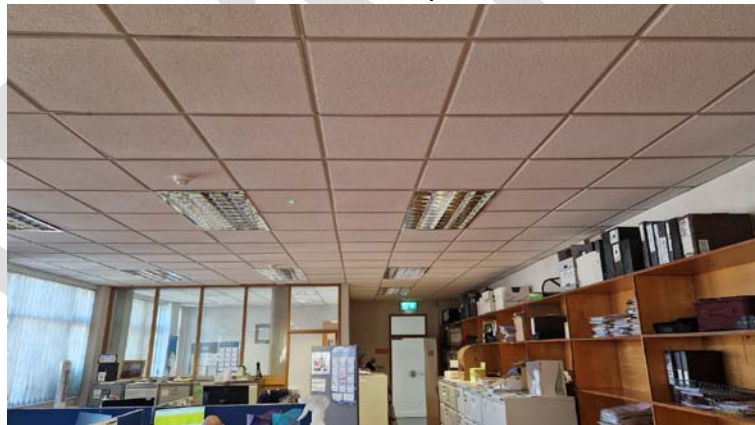
Photograph 24 – Insect attack

- Within the accounts office the ceiling is cracked and should be repaired. No access to the attic was available.



Photograph 25 – cracked ceiling

- A suspended ceiling existed within the majority of the eastern return of the building. Above the suspended ceiling was chicken wire supporting insulation, no access to the attic could be gained. The depth of insulation that was noted would not meet current standards. Over the years insulation has been dislodged as works by electricians and plumbers has been under taken. The entire roof area should be stripped of insulation and reinsulated in accordance with current standards incorporating appropriate air tightness and ventilation to attic spaces. Adequate access to all attics should be provided and these accesses should be readily identifiable.



Photograph 26 – Eastern return

- From the limited access to the above attics it was observed from one location that the rafters are overlaid with timbers. Historically this was in lieu of felt. It is recommended that future opening up works be carried out to ascertain the extent of this timber board to establish if felt is in existence as felt underlay acts as a second line of defence to water ingress.



Photograph 27 – Timber sarking

- An ornate timber ceiling exists within the kitchen/canteen area. It could not be established if insulation existed in this area.



Photograph 28 – Ornate Ceiling

- The timbers in the locker area appeared to have damp staining. This would signify moisture ingress. It is recommended that any roof leaks be repaired as part of the future refurbishment works. The attic area should be cleared of all debris.

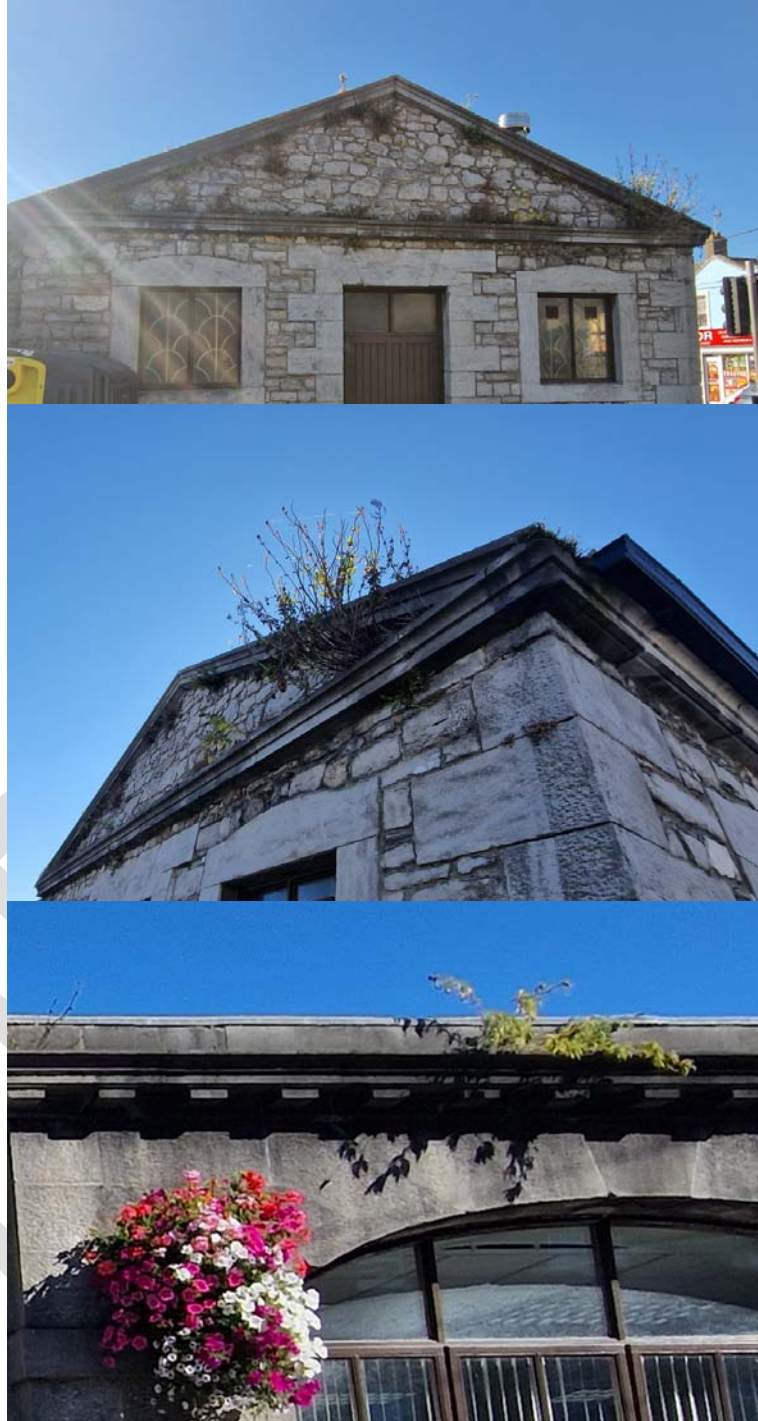


Photograph 29 – Kingpost strut

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4.2 EXTERIOR

- Vegetation growth was noted to the roof structure and corbel, this vegetation should be removed and repointing carried out



Photograph 30 – Vegetation Growth

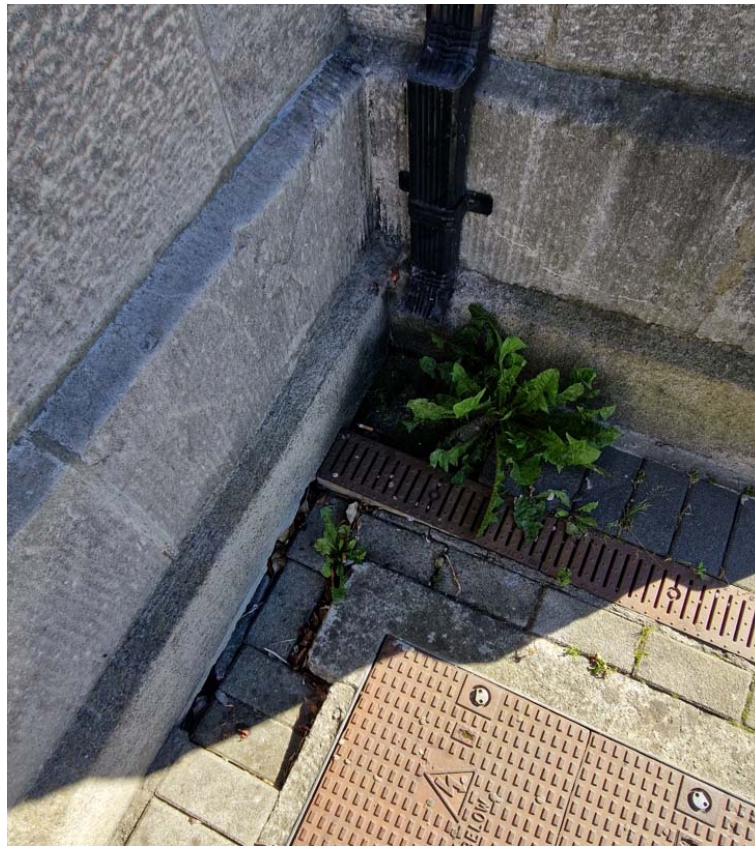
- The ridge line of the building appears reasonably well aligned and no significant deflection was noted. This would signify that the structure of the roof is in good condition.



Photograph 31– Roof exterior

- The gutters to the roof sit on a corbel. This detail necessitates the gutters to be maintained to a high standard to ensure moisture does not enter the building. The gutters and downpipes are in need of repair and replacement in certain areas. Some downpipes are not directed to gullies and this has undermined the footpath at one location. The number of downpipes appeared sparse. It is recommended that well functioning and adequately sized gutters and downpipes are provided to the building directed to dedicated surface water gullies.





Photograph 32 – gutters and downpipes

- The weather vane element of the roof was not inspected as there was no access available.



Photograph 33 – weather vane

- The corbel has been badly repaired and requires remedial work.



Photograph 34 – Corbel

- The ornate timber beam to the court yard area has deteriorated due to the rigors of time and needs to be repaired and treated to ensure moisture does not have an adverse affect on the beam into the future, significant cracking was noted, early signs of wet rot was noted, further wet rot may exist which is not visible. The timbers need to be treated so moisture does not have an adverse affect on the timber.





Photograph 35 – Timber Beam

- Timber fascia exists within the courtyard, this timber requires painting/treatment/repair



Photograph 36 – Timber Fascia

- The triangular glazing sections at the roof appear to be in poor condition these need to be inspected closely and repaired as necessary. Cracking of a column was noted (this is not part of the survey)



Photograph 37 – Glazing interaction with roof

- All flashings to the building should be checked during any renovation works to ensure their integrity.



Photograph 38 – Roof Flashing

- Significant timber rot was noted where the timber beam abuts the boundary wall. This timber beam should be repaired by specialist to ensure further deterioration does not occur. The detailing should be reviewed at this location to ensure the timber beam is not within a moist wall.



Photograph 39 – Wet rot

- Signs of wet rot were noted to the ornate timber beam. The gutters should be removed and repaired as necessary. The timber beam should be inspected thoroughly and treated for wet rot and repaired as necessary. The detail of how the gutter sits on the timber beam should be reviewed to ensure that the beam is not saturated if the gutters leak.



Photograph 40 – Wet rot

5. Conclusion

The roof of the property appears to be in good condition.

Some signs of wet rot was noted to timbers, particularly the ornate timber beam this should be treated and repaired as necessary.

The insulation installation of the attic is not allowing the timbers to breathe adequately; the attic of the property should have the insulation removed and all timbers inspected to ensure no deterioration of the timber has occurred. The attic of the property should be fully insulated in accordance with current regulations including appropriate air tightness and ventilation.

The gutters and downpipes of the property should be repaired and replaced as necessary to ensure water is conveyed away from the building to dedicated surface water sewers.

The glazing lean-to appears to be letting in water; it is recommended that the flashing at these locations have remedial works carried out to ensure rain does not penetrate the building. Robust architectural detailing at these locations will be required.

Limited access to the attic was available due to the chicken wire and the insulation. Adequate access to the attic is to be provided for future inspection. Once opening up works take place, the attics should be inspected thoroughly, allowance should be made for repair works as part of any renovation works.

Whilst some routine or non-structural defects, which were observed during the structural survey, are listed above, this report is not a comprehensive list of such defects.

6. Terms and Conditions:

DCE IRL carried out this work in accordance with the IEI/ACEI Standard Agreement RA9101 (2000) for report and advisory work. A copy can be made available upon request.

The preliminary assessment described above has been carried out with reasonable care, skill and diligence according to the objectives agreed with the client.

The information produced shall be confidential to the Client and DCE IRL. DCE IRL accepts no responsibility to third parties to whom the information / report or any parts thereof are made known. Any such party shall rely on the information and contents of the report at their own risk.

Yours faithfully,



Gary Barron, *BSc.(Hons) NCEA Dip Const. NCEA CERT. C. Eng MIEI HA RSA Cert Comp*

Chartered Engineer

For DCE IRL Tel +353 42 939 51600; Mob +353 86 224 0345; Email gary@dce.ie



Roof Survey
Louth County Council
Civic Offices
Fair Street
Drogheda
Co Louth
A92 P440

Our ref: 4799

Structural Survey Report

Date: 06/02/2025

DCE IRL

Second Floor, Avenue Road Centre,
Avenue Road, Dundalk, Co. Louth
Ireland

(t) 00 353 42 935 1600
(e) info@dce.ie

Document Control Sheet

Project	Roof Survey, Louth County Council, Civic Offices, Fair Street, Drogheda, Co Louth, A92 P440
Project No.	4799
Document Title	Structural Survey
Document Ref.	D01

Contents	No. of Pages
Cover Sheet	1
Control Sheet	1
Table of Contents	22
Text	
Table of Tables	0
Table of Figures	0
No. of Appendices	0
Total no. of Pages	24

Rev	Distribution	Comments	Author	Checked	Approved	Day	Month	Year
0	Louth County Council	Report issued	GJB	DL	GJB	06	February	2025

Second Floor, Avenue Road Centre,
Avenue Road, Dundalk
Co. Louth, A91 FT92 Ireland

Tel +353 42 935 1600

Email info@dce.ie

Web www.dce.ie

**Mr Brendan Grogan
Louth County Council
County Hall
Millennium Centre
Dundalk
A91 KFW6**

Our ref. 4799

Date: 06/02/2025

Re: Roof Survey Louth County Council Civic Offices, Fair Street, Drogheda, Co Louth

Dear Brendan

Further to your request for a survey, we inspected the above named property on the morning of 17/09/ 2024, following which we report to you as follows:-

1. Scope of Survey

The scope of the survey was to identify: -

- * structural defects;
- * wet rot, dry rot, woodworm or high moisture content in timbers.

The survey was non-destructive and visual only. The exterior was inspected from ground level only. It is not possible to comment about the state of repair of the building elements where no access was available. The survey does not inspect any other aspects of the building other than the roof. Consequently, the survey does not purport to have identified all occurrences of the above-mentioned defects. The survey did not include the inspection of any outbuildings, the study of mechanical, electrical or plumbing and drainage services, architectural finishes or compliance with planning legislation or building regulations. This survey is not a general defects or 'snag' list. Whilst some routine or non-structural defects, which were observed during the structural survey, may be listed, this report is not a comprehensive list of such defects.

2. Description

- 2.1 The property surveyed consists of a Roof Survey at Louth County Council Civic Offices, Fair Street, Drogheda, Co Louth
- 2.2 The roof is pitched with slate covering.
- 2.3 Timber Facia and soffits.
- 2.4 Gutters and downpipes are of aluminium and cast iron construction.

3. Extent of Survey



Figure 1 Extent of the survey outlined above.

4. Observations and Recommendations

4.1 ATTIC

- 225mm block wall with timber traversing from the boiler room to the adjoining office area. The fire compartmentation within this area should be reviewed to ensure adequate fire compartmentation if provided from the boiler room to the office area.



Photograph 1 – King Post and party wall

- The block work should be fire stopped at the underside of the roof.



Photograph 2 – Adequate fire stopping to be provided

- The metal work to the king posts should be stripped back and repainted.
- The timber work should be treated with a suitable timber preservative.



Photograph 3 – Metal and timber treatment to be provided

- Insulation within certain areas of the building would be of a poor standard. The roofs should be adequately insulated as part of any future refurbishment works coupled with appropriate air tightness levels.



Photograph 4 – Metal and timber treatment to be provided

- The underside of the rafters has been plaster boarded for the majority of the building. At the locations where inspection could be undertaken the void between the plasterboard and the underside of the roof covering has been filled with insulation. This results in the timber being unable to breathe adequately and can result in deterioration of the roofing timbers. It is recommended that during any refurbishment works that the roofs be insulated allowing for a minimum 50mm of air gap between the insulation and the underside of the roofing.



Photograph 5 – Lack of air gap between insulation and underside of roof

- Holes were noted from one compartment to another. Any penetrations in the roof zone should be fire stopped appropriate to the fire rating of the location.





Photograph 6 – Fire stopping required

- The flue should be reviewed to ensure that it is not in proximity to combustible material as it penetrates the roof.



Photograph 7 – Fire stopping required

- Stones have been dislodged at the kingpost truss where it rests on the wall. This area should be rebuilt.



Photograph 8 – Section of wall to be rebuilt

- Some evidence of moisture ingress was noted to rafters. Ends of rafters appear to have been adversely affected with wet rot at some stage in the past as new timbers adjacent to the existing have been fixed. Where significant refurbishment of the building is being undertaken it may be prudent to make an allowance for localised repair of the roof where leaks are apparent.



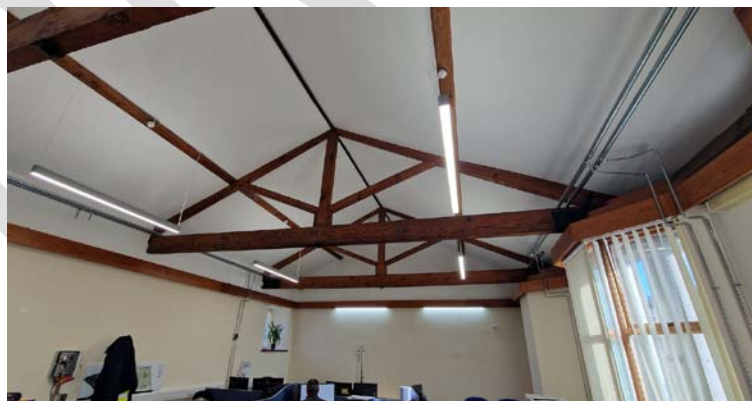
Photograph 9 – Repairs to existing rafters

- A strut to the king post to the engineer's office area adjacent to the boiler room is not abutting the main king post. This is most likely historic and there does not appear to be any deflections noted. The gap between the post and the strut should be packed.



Photograph 10 – Kingpost strut

- The underside of the rafters to the engineer's office has been plaster boarded for the majority of the building. At the locations where inspection could be undertaken the void between the plasterboard and the underside of the roof covering has been filled with insulation. This results in the timber being unable to breathe adequately and can result in deterioration of the roofing timbers. It is recommended that during any refurbishment works that the roofs be insulated allowing for a minimum 50mm of air gap between the insulation and the underside of the roofing.



Photograph 11 – Plasterboard to rafters

- The underside of the rafters to the office area adjacent to the engineer's office has been plaster boarded. At the locations where inspection could be undertaken the void between the plasterboard and the underside of the roof covering has been filled with insulation. Access was available to the tank room off this office area. This results in the timber being unable to breathe adequately and can result in deterioration of the roofing timbers. It is recommended that during any refurbishment works that the roofs be insulated allowing for a minimum 50mm of air gap between the insulation and the underside of the roofing. No access was available in this area to inspect the roof structure.





Photograph 12 – Insulation to underside of roof

- Some cracking of the timber king post was noted this cracking of the bottom chord should be monitored for further signs of movement and strengthened where deemed necessary.



Photograph 13 – Kingpost strut

- Within the 'tank room' significant significant Pigeon guano was noted. This appeared to be historic. It is recommended that any guano be removed and the attics made secure to ensure pigeons can't gain access.



Photograph 14 – Pigeon Guano

- Within the housing capital office there was no access to the attic of the property.



Photograph 15 – Plasterboard ceiling

- Within the Senior Executive/architect housing office there was no access to the attic of the property a plasterboard flat ceiling existed.



Photograph 16 – Plasterboard ceiling

- The hall way adjacent to the above offices consisted of a plasterboard flat ceiling and a suspended tile ceiling. The Property Inspection unit office has also had a suspended flat ceiling. A ceiling tile was removed to gain access to the attic. Above the suspended ceiling was chicken wire supporting insulation, no access to the attic could be gained. The depth of insulation that was noted would not meet current standards. The entire roof area should be stripped of insulation and reinsulated in accordance with current standards incorporating appropriate air tightness and ventilation to attic spaces. Adequate access to all attics should be provided and these accesses should be readily identifiable.



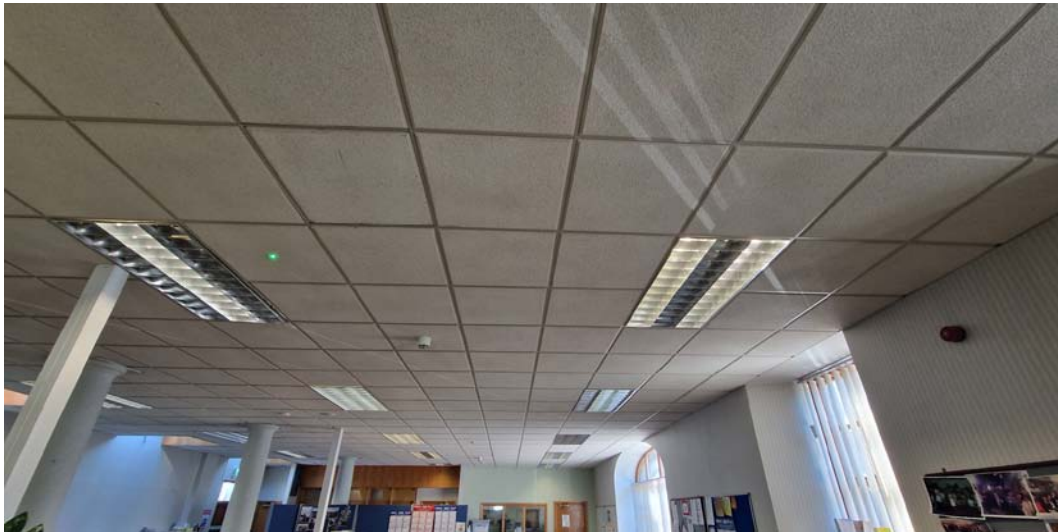
Photograph 17 – Insulation and chicken wire

- Limited access was achieved over the plasterboard ceiling. This revealed insulation. The insulation had a significant amount of debris and this insulation should be removed and replaced in keeping with a strategy to improve the thermal performance of the property.



Photograph 18 – Debris on insulation

- Within the large open plan office area adjacent to Fairstreet consisted of a suspended tile ceiling. Ceiling tiles were removed to gain access to the attic. Above the suspended ceiling was chicken wire supporting insulation, no access to the attic could be gained. The depth of insulation that was noted would not meet current standards. The entire roof area should be stripped of insulation and reinsulated in accordance with current standards incorporating appropriate air tightness and ventilation to attic spaces. Adequate access to all attics should be provided and these accesses should be readily identifiable.



Photograph 19 – Insulation to attic

- Velux windows were noted to this area. These are inaccessible and should be replaced as part of any refurbishment incorporating new flashing with thought put into maintenance into the future.



Photograph 20 – Kingpost strut

- Within the interview room and adjacent room staining was noted to the ceiling tiles. This indicates that there has or is a leak. No access was achievable due to the chicken wire and insulation. As part of the refurbishment works the leaks to the roof should be repaired.







Photograph 21 – Water staining on ceiling tiles

- Within the double height space no access was available to the attic.



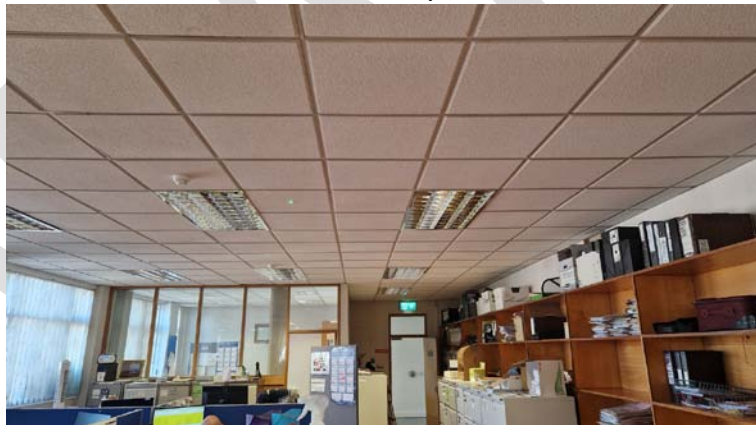
Photograph 22 – No access to Attic

- Within the accounts office the ceiling is cracked and should be repaired. No access to the attic was available.



Photograph 25 – cracked ceiling

- A suspended ceiling existed within the majority of the eastern return of the building. Above the suspended ceiling was chicken wire supporting insulation, no access to the attic could be gained. The depth of insulation that was noted would not meet current standards. Over the years insulation has been dislodged as works by electricians and plumbers has been under taken. The entire roof area should be stripped of insulation and reinsulated in accordance with current standards incorporating appropriate air tightness and ventilation to attic spaces. Adequate access to all attics should be provided and these accesses should be readily identifiable.



Photograph 26 – Eastern return

- From the limited access to the above attics it was observed from one location that the rafters are overlaid with timbers. Historically this was in lieu of felt. It is recommended that future opening up works be carried out to ascertain the extent of this timber board to establish if felt is in existence as felt underlay acts as a second line of defence to water ingress.



Photograph 27 – Timber sarking

- An ornate timber ceiling exists within the kitchen/canteen area. It could not be established if insulation existed in this area.



Photograph 28 – Ornate Ceiling

- The timbers in the locker area appeared to have damp staining. This would signify moisture ingress. It is recommended that any roof leaks be repaired as part of the future refurbishment works. The attic area should be cleared of all debris.



Photograph 29 – Kingpost strut

5. Conclusion

The roof of the property appears to be in good condition.

Some signs of wet rot was noted to timbers, particularly the ornate timber beam this should be treated and repaired as necessary.

The insulation installation of the attic is not allowing the timbers to breathe adequately; the attic of the property should have the insulation removed and all timbers inspected to ensure no deterioration of the timber has occurred. The attic of the property should be fully insulated in accordance with current regulations including appropriate air tightness and ventilation.

The gutters and downpipes of the property should be repaired and replaced as necessary to ensure water is conveyed away from the building to dedicated surface water sewers.

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Yours faithfully,

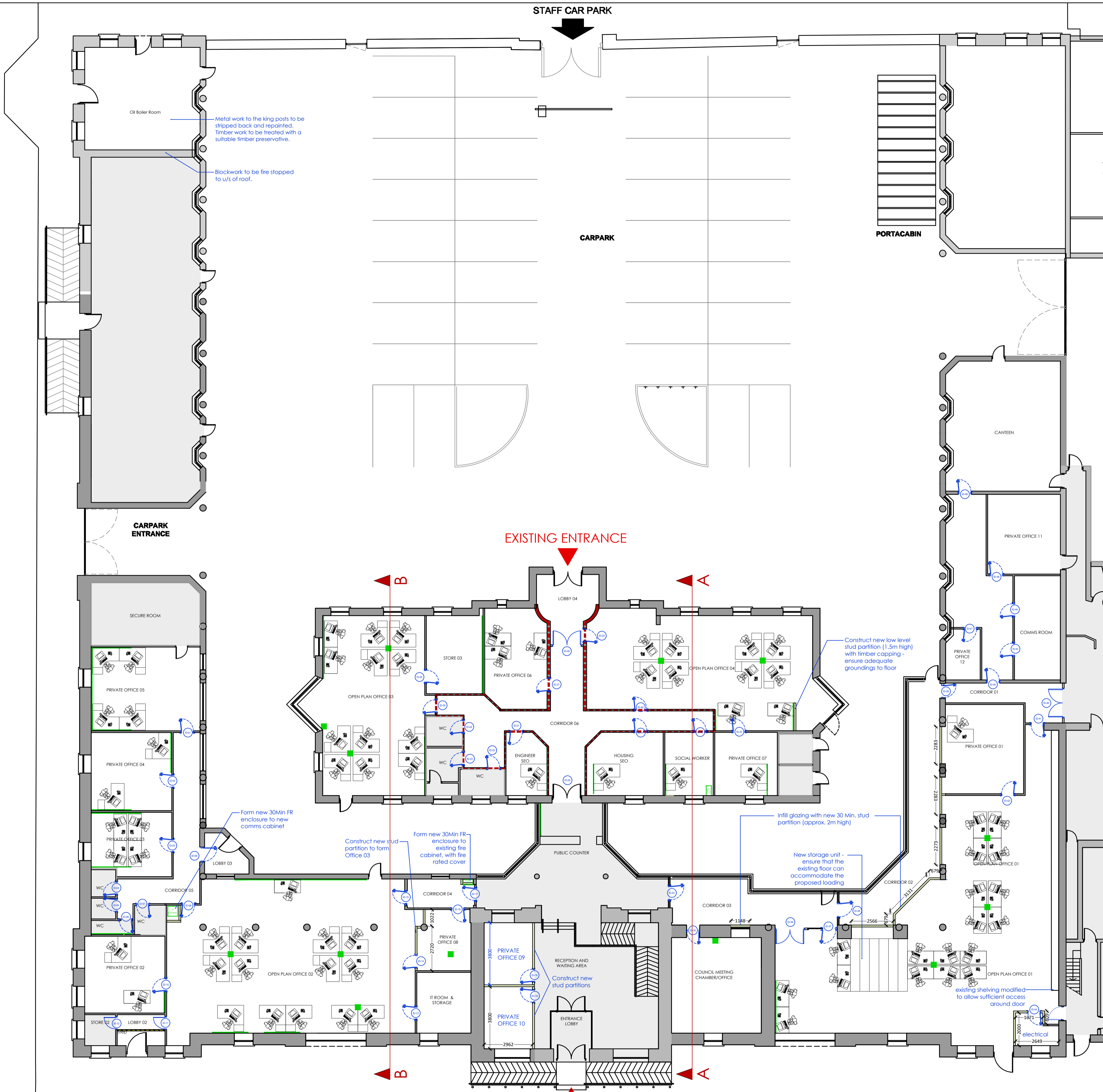


Gary Barron, *BSc.(Hons) NCEA Dip Const. NCEA CERT. C. Eng MIEI HA RSA Cert Comp*

Chartered Engineer

For DCE IRL Tel +353 42 939 51600; Mob +353 86 224 0345; Email gary@dce.ie

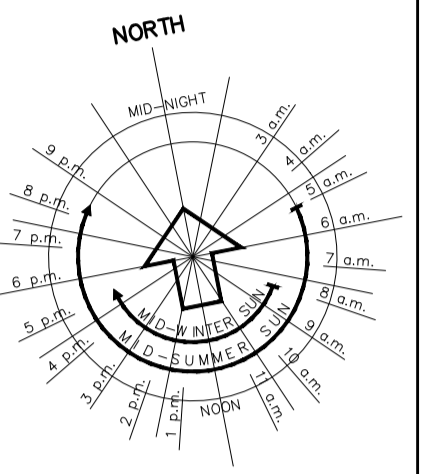
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LEGEND:

- EXISTING STRUCTURE
- NO WORKS TO THESE AREAS
- LINE OF COMPARTMENTATION - 60MIN FR PARTITION TO BE BROUGHT TO UNDERSIDE OF ROOF WITHIN ATTIC
- EXTENT OF NEW/PROPOSED STRUCTURE
- FD30S / FD60S (SELF-CLOSING DOORSET/INTUMESCENT STRIP/SMOKE SEALS)
- LINE OF NEW DATA/POWER TRUNKING (INDICATIVE)
- NEW POWER/DATA COLUMN (INDICATIVE)
- PROPOSED WARNING STRIP TO STEP/DOOR

- Contractor to allow for the following throughout:**
1. Existing insulation to be removed from all roofs, with new 250mm loft insulation installed. All timbers to be checked for deterioration. Allow for min. 50mm air gap between new insulation and underside of roofing.
 2. Clean down and paint all walls and with selected paint colour.
 3. Paint all existing timber work including skirtings & architraves.
 4. Allow for deep cleaning of existing floors to be retained.
 5. Removal and replacement of all window blinds.
 6. Clean down existing glazing and frames, internal and external.
 7. All exposed timber beams to be repaired as necessary.
 8. Fire Stopping - ensure all existing and proposed services and routes are adequately fire stopped.
 9. Remove/strip out all redundant services after audit of same.
 10. Make good to existing wall where there is evidence of dampness, remove plaster and make good.



Label	Room	Width (mm)	Height (mm)	Fire Rating	Handle Type	Vision Panel	Thumb Turn	Access Control	Kick Plate
ID-01	Private office 05			Existing	FD30S	Lever Handle	Y	Y	
ID-02	Private office 04			Existing	FD30S	Lever Handle	Y	Y	
ID-03	Private office 03			Existing	FD30S	Lever Handle	Y	Y	
ID-04	WC			Existing	FD30S	Lever Handle		Y	
ID-05	WC			Existing	FD30S	Lever Handle		Y	
ID-06	WC			Existing	FD30S	Lever Handle		Y	
ID-07	WC			Existing	FD30S	Lever Handle		Y	
ID-08	Open plan office 02			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-09	Lobby 03			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-10	Private office 02			Existing	FD30S	Lever Handle	Y	Y	
ID-11	Lobby 02			Existing	FD30S	Lever Handle	Y		
ID-12	Store 02			Existing	FD60S	Lever Handle		Y	
ID-13	IT Room			Existing	FD30S	Lever Handle	Y		
ID-14	Private office 08	950	2100	FD30S	Lever Handle	Y	Y		
ID-15	Corridor 04			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-16	Private office 08			Existing	FD30S	Lever Handle	Y	Y	
ID-17	Corridor 04			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-18	Private office 09	950	2100	FD30S	Lever Handle	Y	Y	Y	
ID-19	Private office 10	950	2100	FD30S	Lever Handle	Y	Y	Y	
ID-20	Corridor 06			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-21	Engineer SEO			Existing	FD30S	Lever Handle	Y	Y	
ID-22	WC			Existing	FD30S	Lever Handle		Y	
ID-23	WC			Existing	FD30S	Lever Handle		Y	
ID-24	WC			Existing	FD30S	Lever Handle		Y	
ID-25	Open plan office 03			Existing	FD30S	Lever Handle	Y		
ID-26	Store 03			Existing	FD60S	Lever Handle			
ID-27	Private Office 06			Existing	FD30S	Lever Handle	Y	Y	
ID-28	Lobby 04			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-29	Open plan office 04			Existing	FD30S	Lever Handle	Y		Y
ID-30	Open plan office 04			Existing	FD30S	Lever Handle	Y		Y
ID-31	Housing SEO			Existing	FD30S	Lever Handle	Y	Y	
ID-32	Social Worker			Existing	FD30S	Lever Handle	Y	Y	
ID-33	Private Office 07			Existing	FD30S	Lever Handle	Y	Y	
ID-34	Corridor 03			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-35	Council meeting chamber			Existing	FD30S	Lever Handle	Y		Y
ID-36	Open plan office 01			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-37	Open plan office 01			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-38	Corridor 02			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-39	Corridor 01			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-40	Corridor 01			Existing	FD30S	Pull Handle/Push Plate	Y		Y
ID-41	Open plan office 01			Existing	FD30S	Lever Handle	Y		Y
ID-42	Private Office 01			Existing	FD30S	Lever Handle	Y	Y	
ID-43	Electrical Store	950	2100	FD60S	Lever Handle			Y	
ID-44	Corridor 01			Existing	FD30S	Lever Handle	Y		
ID-45	Comms room			Existing	FD60S	Lever Handle	Y		
ID-46	Comms room			Existing	FD60S	Lever Handle	Y		
ID-47	Private Office 12			Existing	FD30S	Lever Handle	Y		
ID-48	Private Office 11			Existing	FD30S	Lever Handle	Y		
ID-49	Canteen			Existing	FD30S	Lever Handle	Y		

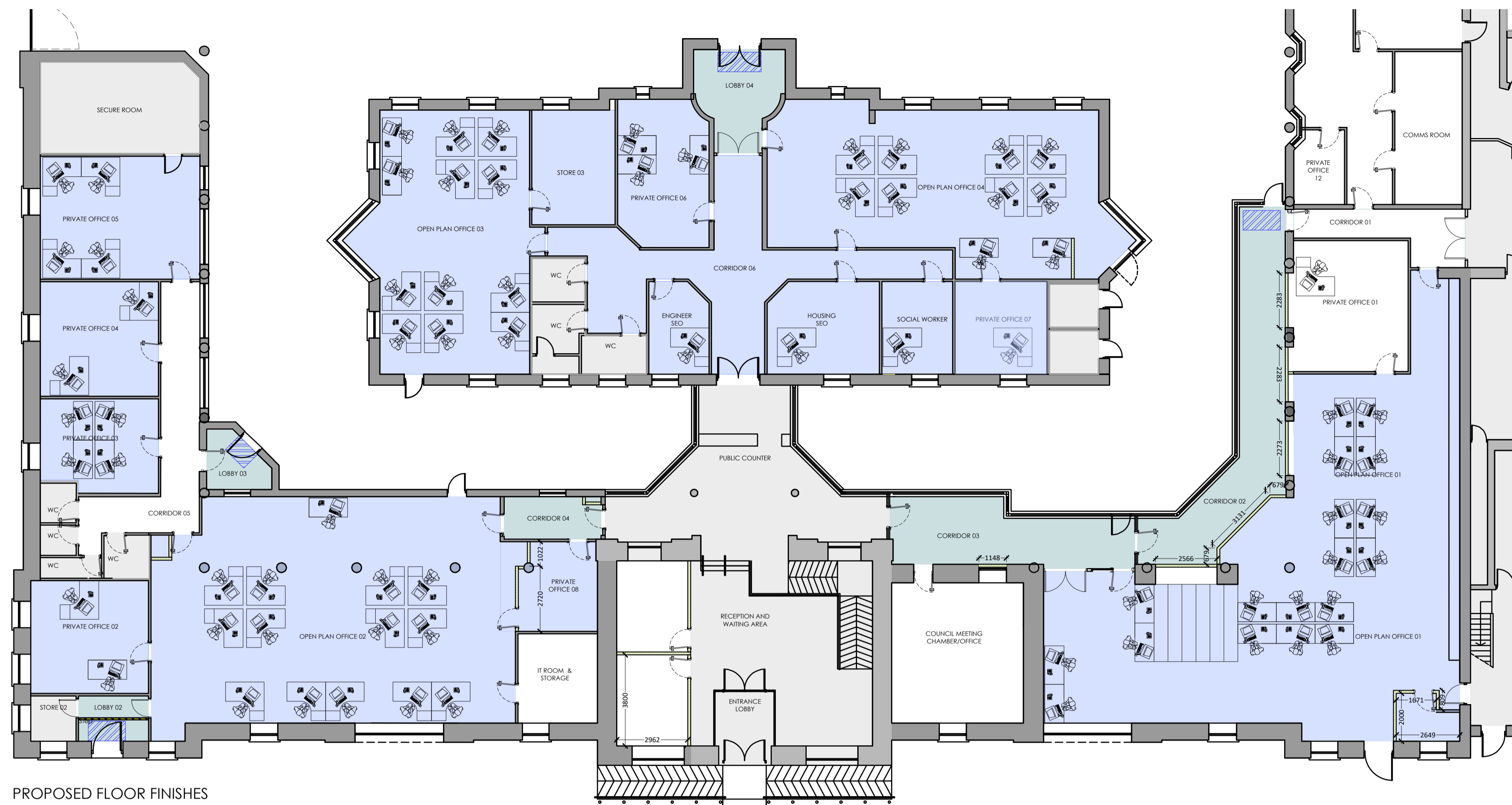
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DWDS DENIS WILLIAMS DESIGN SERVICES ARCHITECTS ENGINEERS

Unit 2, Quayside Business Park, Mill Street, Dundalk, Co. Louth. design@deniswilliams.ie deniswilliams.ie Tel: 042-9326917

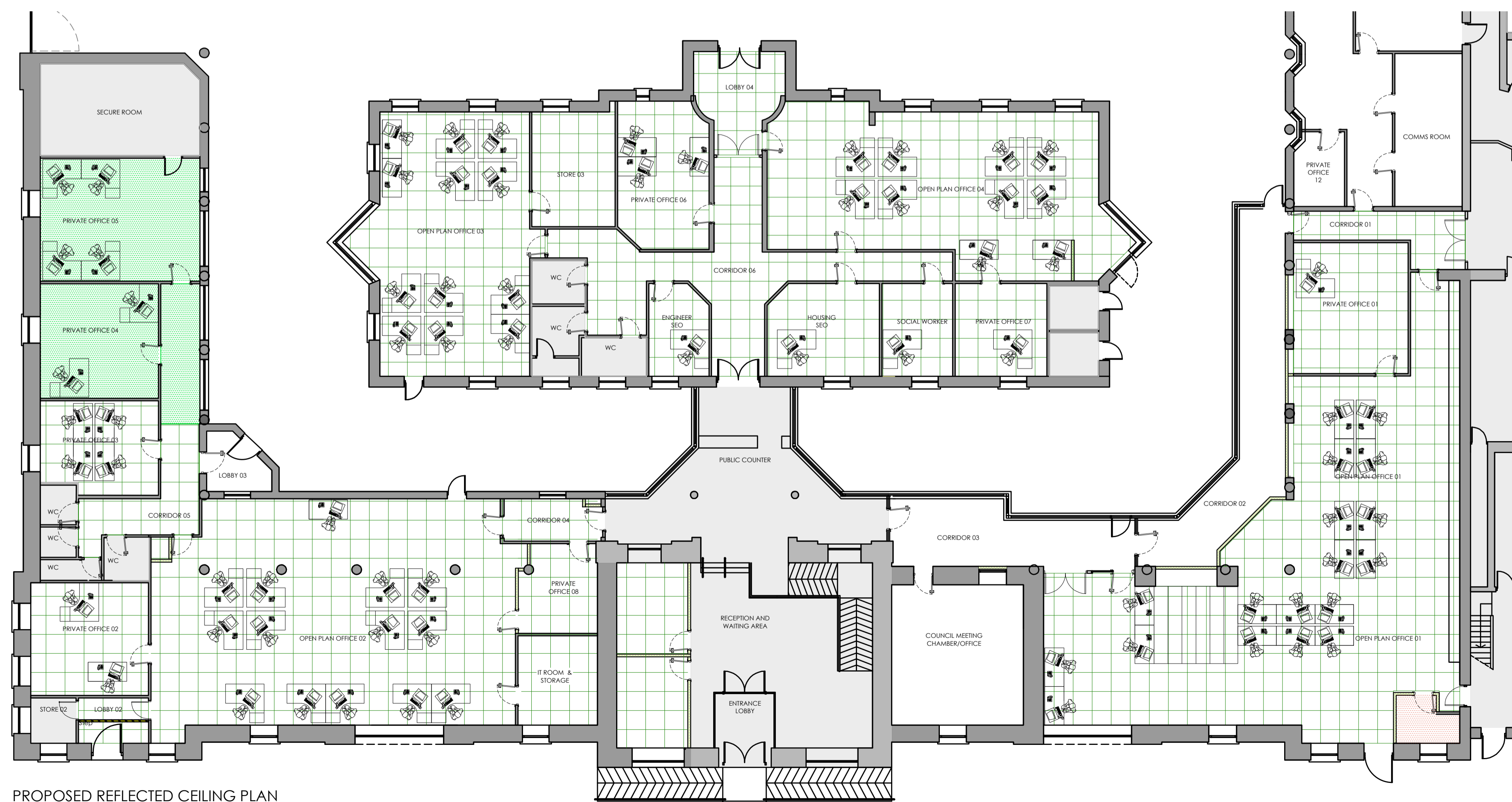
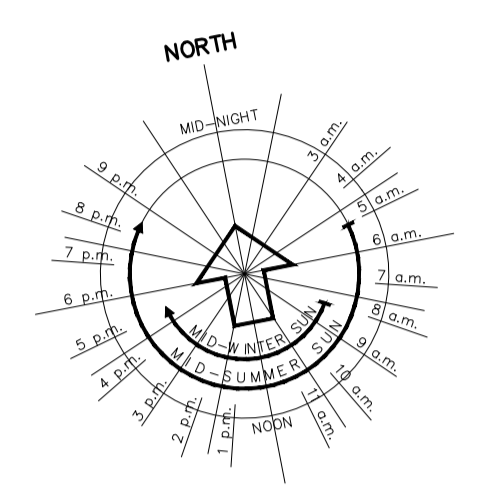
CLIENT NAME LOUTH COUNTY COUNCIL			
PROJECT NAME CORNMARKE BUILDING LCC - FAIR STREET, DROGHEDA			
DRAWING TITLE PROPOSED GROUND FLOOR PLAN			
PROJECT NUMBER	DRAWING NUMBER	REVISION	SCALE(S)
3026	5-402	0	1:125 @ A1
			STATUS
			TENDER
			DATE DRAWN
			DEC '24
			P.C
			O.S

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PROPOSED FLOOR FINISHES

- LEGEND:**
- EXISTING STRUCTURE
 - NO WORKS TO THESE AREAS
 - SELECTED NEW CARPET FINISH
 - EXISTING TILED FINISH TO BE RETAINED (AND PROFESSIONALLY CLEANED)
 - ALLOW FOR NEW SUSPENDED CEILING TILES AND GRID
 - NEW PLASTERBOARD CEILING
 - EXISTING PLASTERBOARD CEILING TO BE RETAINED & REPAINTED
 - EXISTING MATWELL TO BE REPLACED



PROPOSED REFLECTED CEILING PLAN

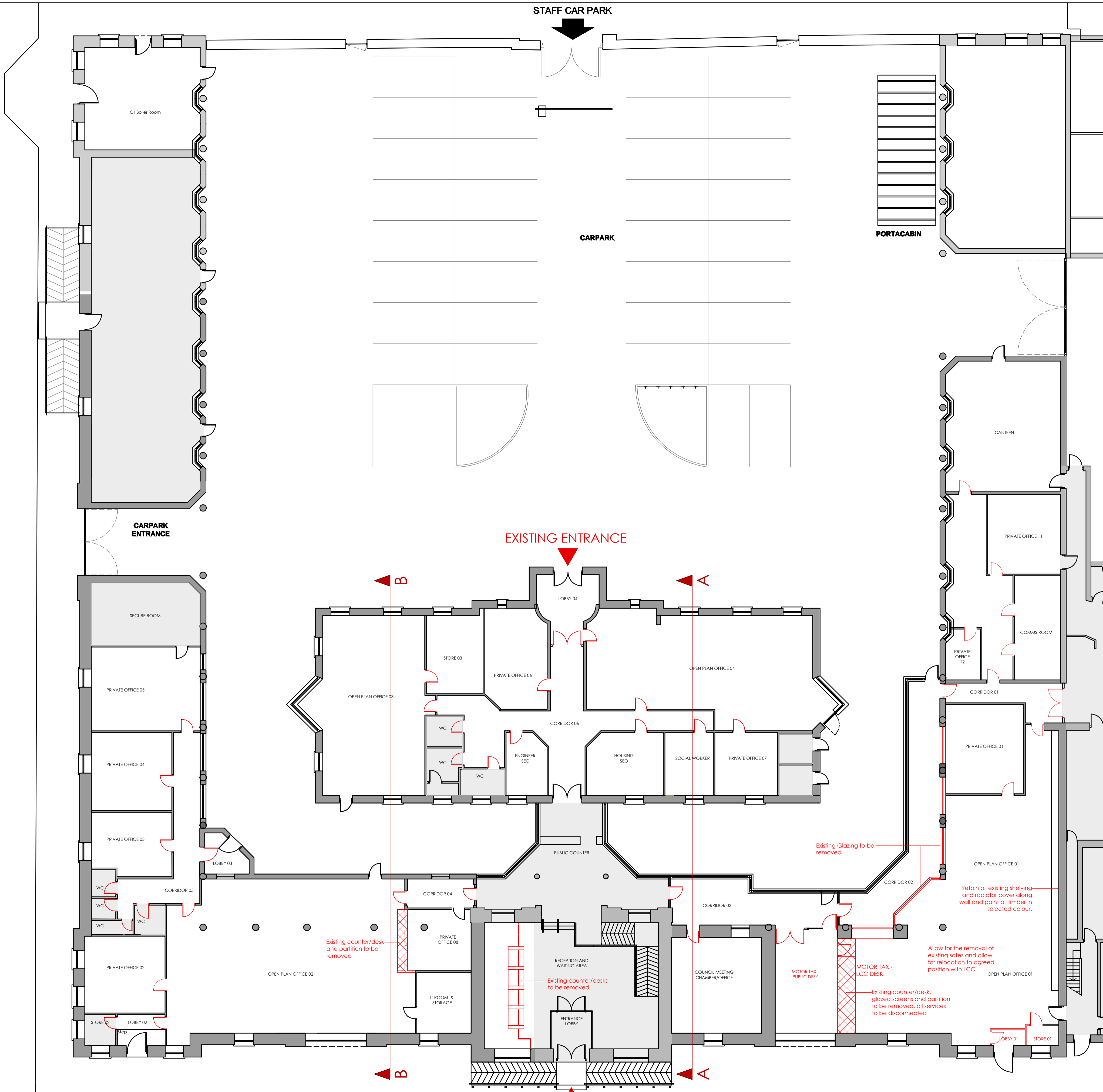
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DATE	BY	DESCRIPTION OF REVISION

DWDS DENIS WILLIAMS DESIGN SERVICES ARCHITECTS ENGINEERS

Unit 2, Quayside Business Park, Mill Street, Dundalk, Co. Louth. design@deniswilliams.ie deniswilliams.ie Tel: 042-9326917

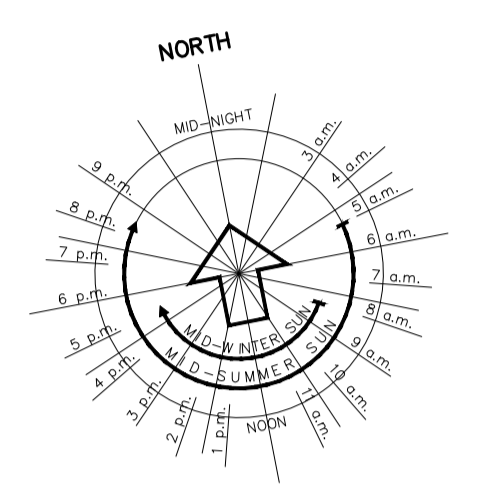
CLIENT NAME LOUTH COUNTY COUNCIL			
PROJECT NAME CORNMARKE BUILDING LCC - FAIR STREET, DROGHEDA			
DRAWING TITLE PROPOSED FLOOR & CEILING FINISHES			
PROJECT NUMBER	DRAWING NUMBER	REVISION	SCALE(S)
3026	5-403	0	1:125 @ A1
STATUS	DATE DRAWN	DRAWN BY/CHECKED BY	
TENDER	DEC '24	P.C O.S	

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- LEGEND:**
- EXISTING STRUCTURE
 - NO WORKS TO THESE AREAS
 - EXISTING STRUCTURE/FITTINGS/DOORS TO BE DEMOLISHED/REMOVED

NOTE THAT THE ITEMS HIGHLIGHTED IN RED ONLY REFER TO FIXED ITEMS AND DO NOT INCLUDE FOR THE REMOVAL OF DECORATIONS SUCH AS CARPETS, BLINDS, FIXED FURNITURE, CEILINGS (INCLUDING SUSPENDED CEILINGS) ETC. REFER TO WRITTEN SCHEDULE OF WORKS



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DATE	BY	DESCRIPTION OF REVISION

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CLIENT NAME LOUTH COUNTY COUNCIL			
PROJECT NAME CORNMARKE BUILDING LCC – FAIR STREET, DROGHEDA			
DRAWING TITLE DEMOLITION WORKS			
PROJECT NUMBER 3026	DRAWING NUMBER 5-401	REVISION 0	SCALE(S) 1:125 @ A1
STATUS TENDER		DATE DRAWN DEC '24	DRAWN BY/CHECKED BY P.C O.S.

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