



## Declaration

In accordance with Part IV, Section 57 (2) of the Local Government (Planning and Development) Act, 2000 (as amended).

### Louth County Council:

This declaration specifies what works would, or would not, in the opinion of the planning authority materially affect the character of the protected structure, or any element thereof, and, as a result, require planning permission. Under the Act, protection extends to the entire structure including its interior and the land lying within its curtilage. It also extends to any other structures lying within the curtilage of the protected structure, to their interiors and to all fixtures and features that form part of the interior or exterior of any of these structures. Where specified in the Record of Protected Structures, protection may also extend to any other feature within the attendant grounds of the protected structure.

Nothing in this declaration exempts works that would not otherwise be exempt from a requirement for planning permission. Changes of use or intensification of the current use may require planning permission. If in doubt, the owner/occupier should consult the planning authority for further advice before commencing any works.

This Declaration may be referred to An Bord Pleanála for review within 4 weeks of its issue, upon payment of the requisite fee in accordance with Part IV, Section 57 (8) of the Planning & Development Act 2000 as amended.

<b>Applicant Name:</b>	Cathedral Enterprises Ltd		
<b>Status (i.e. Owner or Occupier):</b>	Vacant		
<b>Date of Request for Declaration:</b>	11 <sup>th</sup> April 2023	<b>Date of Inspection:</b>	21 <sup>st</sup> June 2023
<b>Date of Issue of Declaration:</b>	27 <sup>th</sup> June 2023	<b>Previous Declarations:</b>	None

<b>Address:</b>	<b>Location:</b>		
Name of Building:	National Grid co-ordinates:		
Address 1:	20 Saint Laurence Street	O.S. Map Type:	
Address 2:	Drogheda	Map Sheet:	
Address 3:	Co. Louth	Site Number:	
Eircode:	A92 FP2N		

<b>Protection Status:</b>	<b>Y / N</b>		<b>Details:</b>
<small>Under the Planning and development Act 2000 (as amended)</small>			
Record of Protected Structures:	Y ✓	N	DB-122
Architectural Conservation Area:	Y ✓	N	Laurence's Street ACA



S57 Ref: DB23-03

Under the Planning and development Act 2000  
(as amended)

Record of Monuments and Places:	Y	N ✓	
Zone of Archaeological potential:	Y ✓	N	Drogheda Town Centre
Preservation Order or Temporary P.O.:	Y	N ✓	

NIAH Registration No. (if applicable):

13619023

[View on map](#)

### Survey Data

Reg No	13619023
Rating	Regional
Categories of Special Interest	Architectural, Artistic
Original Use	House
In Use As	Office
Date	1780 - 1820
Coordinates	309114, 275267
Date Recorded	28/07/2005
Date Updated	--/--

### Description of the Structure:

Attached two-bay four-storey over basement former house, built c.1800, as a pair with the adjoining house to the east. Extension to the north. Now in use as offices. Pitched slate roof behind parapet with stone coping, smooth rendered corbelled chimneystack, gutter hidden by parapet, circular cast-iron down pipe. Smooth rendered ruled-and-lined walling, painted stone plinth course. Square-headed window openings, painted stone sills, painted timber six-over-six sliding sash windows, three-over-three sliding sash windows to third floor. Round-headed door opening, painted pilasters surmounted by scrolled console brackets supporting broken bed pediment, plain-glazed fanlight, painted timber door with ten raised-and-fielded panels, tooled limestone steps lead to entrance. Basement area bounded to south by granite plinth wall surmounted by wrought-iron



railings, urn newel posts, gate to basement. Street fronted.

### **Appraisal**

This Georgian house, built as one of a pair with its neighbor to the east, has retained many original features, most notably the panelled door and attractive door surround with scroll console brackets and broken bed pediment. These buildings compliment their neighbours and form an attractive grouping on the historic streetscape. Laurence Street contains some particularly fine examples of Irish architecture from various eras and of differing designs which make a valuable addition to the heritage of Drogheda.

### **Site & Description of Proposed Works**

The site comprises of an existing four-storey over basement building with a three-storey rear return situated on the northern side of Saint Laurence Street. The site is situated on lands zoned B1 Town/Village Centre as per the Louth County Development Plan 2021-2027, as varied, which has the objective "*To support the development, improvement and expansion of town or village centre activities.*" The site is also situated within Laurence's Street ACA.



**Planning History:**

Most recent planning history at the site:

Reg Ref 18/592: Change of use of existing offices to residential accommodation consisting of 5no. units and associated site works. Granted 24/06/2019. Expires 23/06/2024.

**Referral Question:**

**Would works materially affect the character of the protected structure and as a result, require planning permission?**

The works proposed, which are the subject of this Section 57 Declaration include:

To improve BER rating & fire compliance we propose the additional works which were not clearly outlined in the original planning:

- Dry lining of external walls;
- New dropped ceiling to provide 60-minute compartmentation for Part B compliance to be fitted below existing covings and decorative work to be retained;
- Repair works to existing roof.

**Legislative Provision:**

Section 57(1) of the Planning and Development Act 2000 (as amended) states "that notwithstanding Sections 4(1)(h) and any regulations made under Section 4(2), the carrying out of works to a protected structure, or proposed protected structure shall be exempted development only if those works would not materially affect the character of:



- (a) The structure or
- (b) Any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

### **Assessment**

The Planning Authority has reviewed the submitted Architectural Heritage Impact Assessment Report and associated drawings. Under Question 10 of the Section 57 Declaration form, works that are proposed are described as follows:

1. Dry lining of external walls
2. New dropped ceiling to provide 60-minute compartmentation for Part B compliance to be fitted below existing covings and decorative works which are to be retained.
3. Repair works to the existing roof.

In relation to the dry lining of external walls, the drawings included within the Architectural Heritage Impact Assessment Report indicate the location of the proposed dry lining at ground floor to 3<sup>rd</sup> floor level to the front and rear elevations. The location of dropped ceilings is illustrated on Drawing No. J904D005, while the repair works to the existing roof are outlined within Section 6 of the Architectural Heritage Impact Assessment Report and which include the a full assessment of the condition of the existing roof (ridge tiles, slates and roof timbers) and repairs and replacement works to be carried out to match the original size and form where required. Methodology for the works is set out within Section 5 of the Architectural Heritage Impact Assessment Report.

Having reviewed the details contained within the Architectural Heritage Impact Assessment Report and submitted drawings, I am satisfied that: 1) The dry lining of external walls will not result in a material alteration to the existing structure or loss of historic material; 2) The new dropped ceilings to provide for 60minute compartmentation fitted below existing covings and decorative works which are to be retained will not result in a material alteration to the interior of the building or the loss of historic material; and that 3) The repair works to the existing roof, which includes slates, roof timbers to be assessed and repaired/replaced as required and rolled lead flashing, will not materially affect the character of the protected structure on the basis that works will follow conservation principles and best practice.

### **Special Remarks:**

The structure was built between 1780-1820, with a Regional listing status and falls within two categories of special interest: Architectural and Artistic.

Any further documentation attached (maps, photographs, sketches, notes etc.)? Y

- Location Map,
- Declaration form
- RPS Extract
- Architectural Impact Assessment Report and associated drawings prepared by ACP Architectural Conservation Professionals
- Site photos taken by Planning Authority inspector 21<sup>st</sup> June 2023

**Recommendation:**

I hereby recommend that a Declaration of Exemption be granted for the development described above, for the reason(s) set out hereunder.

**WHEREAS** the question has arisen as to whether the proposed works would or would not materially affect the character of protected structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest at No. 20 Saint Laurence Street, Drogheda, Co. Louth, A92 FP2N.

**AND WHEREAS** Cathedral Enterprises Ltd requested a declaration on the question from Louth County Council on the 11<sup>th</sup> April 2023.

**AND WHEREAS** Louth County Council in considering this referral, had regard particularly to –

- a) Section 2 of the Planning and Development Act 2000, as amended,
- b) Section 3 of the Planning and Development Act 2000, as amended,
- c) Section 4 (1)(h) of the Planning and Development Act 2000, as amended,
- d) Section 57 of the Planning and Development Act, 2000 as amended,
- e) The Architectural Heritage Protection Guidelines for Planning Authorities,
- f) The special interest pertaining to the protected structure in question and
- g) The nature and extent of works set out in the referral question.

**AND WHEREAS** Louth County Council has concluded that –

- (i) The stated works to the protected structure comprise of “works” as defined in Section 2 of the Planning and Development Act 2000 (as amended);
- (ii) The stated works would not materially affect the character of the protected structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest,
- (iii) The stated works consist of the carrying out of works for the maintenance, improvement and alteration of this structure which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures and
- (iv) The said development, therefore, comes within the scope of section 4(1)(h) and Section 57(1) of the Planning and Development Act 2000 (as amended).

**NOW THEREFORE** Louth County Council, in exercise of the powers conferred on it by Section 57 of the 2000 Act as amended, hereby decides that the proposed works to the property at No. 20 Saint Laurence Street, Drogheda, Co. Louth, A92 FP2N as detailed above, **constitutes development that is exempted development.**

Signed by Inspector

Date

29/06/2023

Signed by Planning Authority Officer

Date

29th June 2023

**LOUTH COUNTY COUNCIL**

**CHIEF EXECUTIVE'S ORDER**

**PLANNING & DEVELOPMENT ACT 2000 (as amended)**

**Section 57 Declaration – Works to a Protected Structure**

**Chief Executive's Order No:** 446/2023

**Reference No:** S57 DB23-03

**Date Application Received:** 11 April 2023

**Description:** To improved BER rating and fire compliance:

- Dry lining of external walls;
- New dropped ceiling to provide 60-minute compartmentation for Part B compliance to be fitted below existing covings and decorative work to be retained;
- Repair works to existing roof.

**Name of Applicant:** Cathedral Enterprises Ltd.

**Location of Development** 20 St. Laurence Street, Drogheda, Co. Louth A92 FP2N

**WHEREAS** the question has arisen as to whether the proposed works would or would not materially affect the character of protected structure or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest at No. 20 Saint Laurence Street, Drogheda, Co. Louth, A92 FP2N.

**AND WHEREAS** Cathedral Enterprises Ltd requested a declaration on the question from Louth County Council on the 11<sup>th</sup> April 2023.

**AND WHEREAS** Louth County Council in considering this referral, had regard particularly to –


- a) Section 2 of the Planning and Development Act 2000, as amended,
- b) Section 3 of the Planning and Development Act 2000, as amended,
- c) Section 4 (1)(h) of the Planning and Development Act 2000, as amended,
- d) Section 57 of the Planning and Development Act, 2000 as amended,
- e) The Architectural Heritage Protection Guidelines for Planning Authorities,

- f) The special interest pertaining to the protected structure in question and
- g) The nature and extent of works set out in the referral question.

**AND WHEREAS** Louth County Council has concluded that –

- (i) The stated works to the protected structure comprise of “works” as defined in Section 2 of the Planning and Development Act 2000 (as amended);
- (ii) The stated works would not materially affect the character of the protected structure, or any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest,
- (iii) The stated works consist of the carrying out of works for the maintenance, improvement and alteration of this structure which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures and
- (iv) The said development, therefore, comes within the scope of section 4(l)(h) and Section 57(l) of the Planning and Development Act 2000 (as amended).

**NOW THEREFORE** Louth County Council, in exercise of the powers conferred on it by Section 57 of the 2000 Act as amended, hereby decides that the proposed works to the property at No. 20 Saint Laurence Street, Drogheda, Co. Louth, A92 FP2N as detailed above, **constitutes development that is exempted development.**

**SIGNED:**   
Joanna Kelly  
Senior Planner

**Dated:** 29th June 2023

**ORDER:** In pursuance of the powers conferred upon the Council by the above Act, I concur with the above recommendation and I hereby direct that a **Section 57 Declaration of Exemption be Granted** for the works, as described above.

**SIGNED:**   
Eamonn Woulfe  
A/Director of Services

**Dated:** 29th June 2023

To whom this function has been delegated in accordance with the provision of Sections 154 of the Local Government Act 2001 by Order no CE.S.188/23 dated the 22nd June, 2023.



Ref DB23-08

### PLANNING AND DEVELOPMENT ACT 2000 (as amended) REQUEST FOR SECTION 57 DECLARATION

The above Act provides that notwithstanding section 4(1)(a), (h), (i), (j), (k), or (l) and any regulations made under section 4(2) of the Act, the carrying out of works to a protected structure, or a proposed protected structure, shall be exempted development only if those works would not materially affect the character of—

- (a) the structure, or
- (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest

As an owner or occupier of a protected structure you are entitled under the above Act to make a written request to the Planning Authority to issue a Declaration as to the type of works which it considers would or would not materially affect the character of the structure or of any element (as set out in Section 57(3) of the Planning and Development Act 2000 as amended) of that structure.

In order to allow for consideration of this request, please supply the following information:

1.	Name of Applicant:	Cathedral Enterprises Ltd
2.	Address of Protected Structure:	Eircode: A92 FP2N 20 Saint Laurence Street Drogheda, Co Louth
3.	Correspondence of Protected Structure: (if different from 2 above)	Unit 19, Charleville Town Centre, Charleville, Co. Cork, Republic of Ireland
4.	NIAH Ref. No.	13619023
	Louth RPS Ref. No.	DB-122
5.	Is the structure owner occupied or rented?	Vacant
6.	If rented, state name and address of owner:	
7.	Use of structure (residential, commercial etc.)	Residential
8.	Has a Declaration been sought previously?	No.
9.	Are you aware of any (1) previous planning application/s or (2) enforcement proceedings pertaining to this site? (If so, please give details):	. Yes Planning Reference 18592 Change of use of existing offices to residential accommodation consisting of 6 No units and associated site works



**PLANNING AND DEVELOPMENT ACT 2000 (as amended)  
REQUEST FOR SECTION 57 DECLARATION**

10. Please provide a brief description of the nature and scale of the development proposed (both internal and external) in particular the works that you are seeking a declaration for

To improve BER rating & fire compliance we propose the additional works which were not clearly outlined in the original planning:

- Dry lining of external walls
- New dropped ceiling to provide 60-minute compartmentation for Part B compliance to be fitted below existing covings and decorative work to be retained.
- Repair works to existing roof

Please note that the accuracy and relevance of the Declaration made by the Planning Authority is informed by the information furnished by the applicant. Any deviation from the information provided may require the re-consideration of the declaration.

11. Please provide a Site Location Map to the scale of 1:1000 clearly identifying the structure and boundaries to which this application refers. The subject structure should be outlined in **red** and overall landholding to be outlined in **blue**

I wish to apply for a declaration from Louth County Council as to the type of works as outlined above, which may or may not require permission in the above named structure.

Signed:

Date: 6-04-23

Daytime contact telephone number:

083-3808100

It should be noted that the Council is normally obliged to issue this declaration within three months (12 weeks) of a request being made.

You will be contacted within this period to arrange an appointment for a suitably qualified person to carry out a detailed survey of the internal and external features of the structure.

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## **Section 57 Declaration Application**

For:

**20 Saint Laurence Street, Drogheda, Co. Louth. A92 FP2N**

**Client: Cathedral Enterprises Ltd**



**Date: 05<sup>th</sup> April 2023**



**Authorship:** This Report has been prepared by:-

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**Copies of this report  
have been presented  
by ACP to:**

Cathedral Enterprises Ltd & RDF Architects & Planning Ltd.

**Acknowledgements:**

Architectural Conservation Professionals acknowledges any information supplied by the Client and information obtained from the Record of Protected Structures (RPS), the National Inventory of Architectural Heritage (NIAH) and record of Monuments and Places (RMP)

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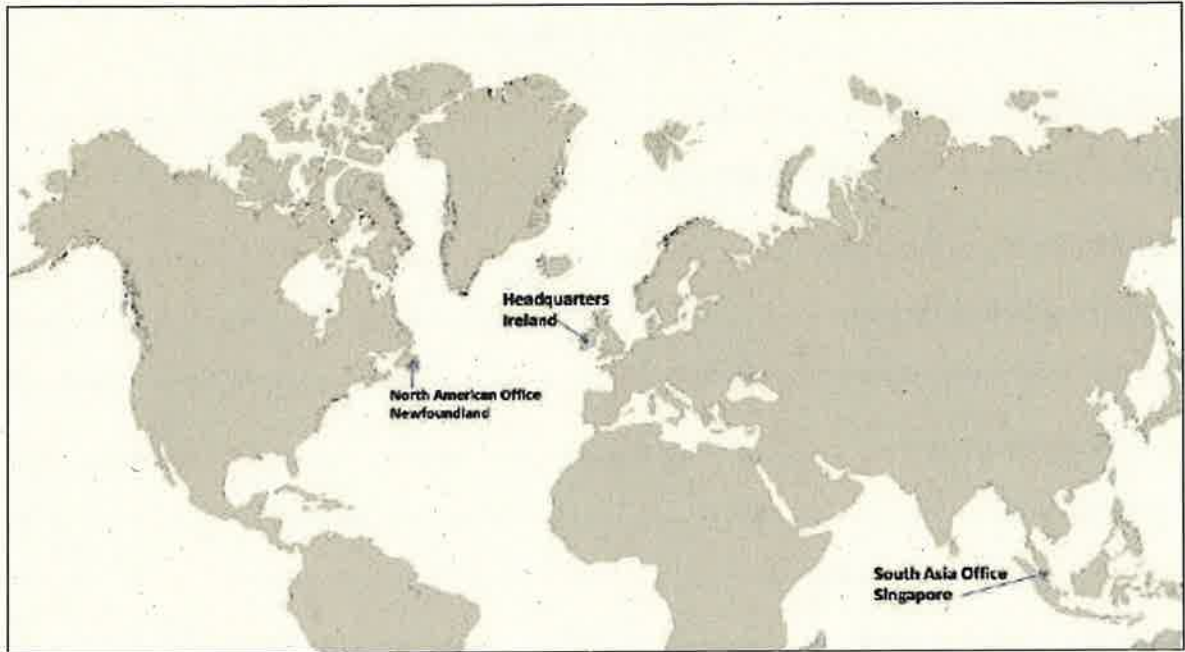
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## GLOSSARY OF TERMS

### 1. *ACA*

**An Architectural Conservation Area** is a place, area, group of structures or townscape that is of special architectural, scientific, social or technical interest, or that contributes to the appreciation of a protected structure, whose character it is the objective of a development plan to preserve - Section 52 (1) (b) of the 2000 Act.

### 2. *Area of Special Planning Control*

**Areas of Special Planning Control** provide powers to planning authorities not alone to give protection to the character of certain qualifying areas, but also to enhance that character, that is, to restore it and to require owners and occupiers to conform to a planning scheme – Section 84, of the 2000 Act

### 3. *NIAH*

**The National Inventory of Architectural Heritage.** The purpose of the NIAH is to identify, record, and evaluate the post-1700 architectural heritage of Ireland, uniformly and consistently as an aid in the protection and conservation of the built heritage. NIAH surveys provide the basis for the recommendations of the Minister for Arts, Heritage and the Gaeltacht to the planning authorities for the inclusion of particular structures in their Record of Protected Structures (RPS)

### 4. *Protected Structure*

A “**protected structure**” is defined as any structure or specified part of a structure, which is included in the Record of Protected Structures. The term “structure” is defined by Section 2 of the 2000 Act to mean ‘any building, structure, excavation or other thing constructed, or made on, in or under any land, or any part of a structure so defined, and where the context so admits, includes the lands on, in, or under which the structure is situate’. – Section 2 (1) of the 2000 Act

### 5. *Section 57 Declaration*

**Section 57 Declaration** Owners or occupiers of a protected structure may request a ‘declaration’ under Section 57 of the 2000 Act. The purpose of which is for planning authorities to clarify in writing the kind of works that would or would not materially affect the character of that structure or any element of that structure which contributes to its special interest. Declarations guide the owner as to what works would and would not require planning permission in the context of the protection of the architectural heritage. This is because the character of a protected structure cannot be altered without first securing planning permission to do so.

### 6. *RMP*

**Archaeological sites** are legally protected by the provisions of the National Monuments Acts, the National Cultural Institutions Act 1997 and the Planning Acts. The **National Record of Monument & Places (RMP)** is a statutory list of all known archaeological monuments provided for in the National Monuments Acts. It includes known monuments and sites of archaeological importance dating to before 1700AD, and some sites which date from after 1700AD.

### 7. *RPS*

**Record of Protected Structures.** A Protected Structure is a structure which is considered to be of special interest from an architectural, historical, archaeological, artistic, cultural, scientific, social or technical point of view. The Record of Protected Structures (RPS) is a list of the buildings held by a Local Authority which contains buildings considered to be of special interest in its operational area. Section 51 (of the 2000 Act) requires that the development plan



shall include a Record of Protected Structures and that the Record shall include every structure which is, in the opinion of the Planning Authority, of special interest.

## **Levels of significance – NIAH Definitions 2006**

- International Significance*** Structures or sites of sufficient architectural heritage importance to be considered in an international context. Examples include St Fin Barre's Cathedral, Cork. These are exceptional structures that can be compared to and contrasted with the finest architectural heritage in other countries.
- National Significance*** Structures or sites that make a significant contribution to the architectural heritage of Ireland. These are structures and sites that are considered to be of great architectural heritage significance in an Irish context. Examples include Ardnacrusha Power Station, Co. Clare; the Ford Factory, Cork; Carroll's Factory, Dundalk; Lismore Castle, Co. Waterford; Sligo Courthouse, Sligo; and Emo Court, Co. Laois.
- Regional Significance*** Structures or sites that make a significant contribution to the architectural heritage within their region or area. They also stand in comparison with similar structures or sites in other regions or areas within Ireland. Examples would include many Georgian terraces; Nenagh Courthouse, Co. Tipperary; or the Bailey Lighthouse, Howth. Increasingly, structures that need to be protected include structures or sites that make a significant contribution to the architectural heritage within their own locality. Examples of these would include modest terraces and timber shopfronts.
- Local Significance*** These are structures or sites of some vintage that make a contribution to the architectural heritage but may not merit being placed in the RPS separately. Such structures may have lost much of their original fabric.
- Record only*** These are structures or sites that are not deemed to have sufficient presence or inherent architectural or other importance at the time of recording to warrant a higher rating. It is acknowledged, however, that they might be considered further at a future time



## Penalties for Offences

### Architectural Heritage Protection

A Protected Structure and built fabric within its curtilage are protected by law under Part IV of the Planning and Development Act 2000. The penalties for breaches of this Act are severe. Section 156 of the Act states:-

(1) A person who is guilty of an offence under *sections 58(4), 63, 151, 154, 205, 230(3), 239 and 247* shall be liable—

(a) on conviction on indictment, to a fine not exceeding £10,000,000, or to imprisonment for a term not exceeding 2 years, or to both, or

(b) on summary conviction, to a fine not exceeding £1,500, or to imprisonment for a term not exceeding 6 months, or to both.

### Monuments and Places included in the Record

Section 12 (3) of the Act provides for the protection of monuments and places included in the record stating that

"When the owner or occupier (not being the Commissioners) of a monument or place which has been recorded under subsection (1) of this section or any person proposes to carry out, or to cause or permit the carrying out of, any work at or in relation to such monument or place, he shall give notice in writing of his proposal to carry out the work to the Commissioners and shall not, except in the case of urgent necessity and with the consent of the Commissioners, commence the work for a period of two months after having given the notice."

**A person contravening this requirement for two months notification to the Commissioners of Public Works in Ireland of proposed works at or in relation to a recorded monument or place shall (under Section 13 of the Act) be guilty of an offence and be liable on summary conviction to a maximum penalty of a £1000 fine and 12 months imprisonment and on conviction on indictment to a maximum penalty of a £50,000 fine and 5 years imprisonment.**

It should also be noted that Section 16 of the National Monuments (Amendment) Act 1994 amended the National Monuments (Amendment) Act 1987 (the Act of 1987) so that under Section 2 (1) (a) (iv) of that Act **the use or possession of a detection device**

*"in, or at the site of, a monument recorded under section 12 of the National Monuments (Amendment) Act, 1994,"*

**is prohibited** otherwise than in accordance with a consent of the Commissioners of Public Works in Ireland granted under the provisions of Section 2 of the Act of 1987.

**A person contravening the above provisions relating to use or possession of detection devices shall (under Section 2 (5) of the Act of 1987) be guilty of an offence and be liable (under Section 23 (1) of the Act of 1987) on summary conviction to a maximum penalty of a £1000 fine and 6 months imprisonment or on conviction on indictment to a maximum penalty of a £50,000 fine and 12 months imprisonment.**

It should be further noted that under Section 7 (1) (a) of the National Monuments (Amendment) Act 1994 a member of the Garda Síochána may without warrant seize and detain:

*"a detection device found in, at the site of, or in the vicinity of a monument recorded under Section 12 of the Act unless the person in possession of the device has a consent of the Commissioners of Public Works in Ireland in accordance with the provisions of Section 2 of the Act of 1987.*



## 1.0 Scope of Study

This report has been prepared following a request by the client to draft and issue documentation (Scope of works, Specifications, Method Statements and Drawings) in support of a Section 57 Declaration Application under Part IV of the Planning and Development Act 2000 for the below proposed works to 20 Saint Laurence Street, Drogheda, Co. Louth. A92 FP2N.

### 1.1 Project Details

Generally, the scope of works may be described as follows as supplied by the client:

- Dry lining of external walls.
- A new dropped ceiling to provide 60-minute compartmentation for Part B compliance to be fitted below existing covings and decorative work to be retained.
- Repair works to existing roof.

### 1.2 Architectural Heritage Protection

A Protected Structure and built fabric within its curtilage are protected by law under Part IV of the Planning and Development Act 2000. The penalties for breaches of this Act are severe<sup>1</sup>.

## 2.0 Method of study

The following methods and resources were used in establishing the Specification for works and Method Statements.

- The subject site was studied, visited and inspected by a qualified Chartered Building Engineer on the 16<sup>th</sup> March 2023.
- The Record of Protected Structures constraint maps and lists (RPS) and the sites were studied.

This report was prepared in accordance with national practice deriving from Architectural Heritage Protection Guidelines for Planning Authorities by the Department of the Environment, Heritage and Local Government 2004 and international practice from The Burra Charter 1999 (The Australia ICOMOS Charter for places of Cultural Significance)

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<sup>1</sup> 156.—(1) A person who is guilty of an offence under *sections 58(4), 63, 151, 154, 205, 230(3), 239 and 247* shall be liable—

(a) on conviction on indictment, to a fine not exceeding £10,000,000, or to imprisonment for a term not exceeding 2 years, or to both, or

(b) on summary conviction, to a fine not exceeding £1,500, or to imprisonment for a term not exceeding 6 months, or to both.



### 3.0 Location and Protected Status

#### 3.1 Location

The subject site is located at 20 Saint Laurence Street, Drogheda, Co. Louth. The building is in a fair condition, this Section 57 Declaration is only to provide additional information in conjunction with the approved planning application reference number: 18592.

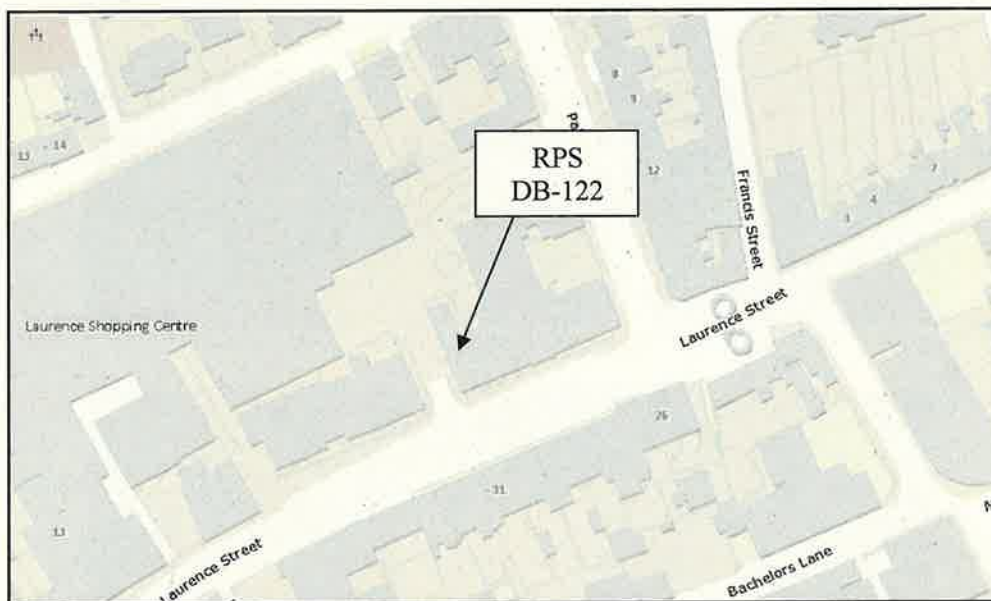


Figure 1 OSI Map ©OSI License ACP Architectural Conservation Professionals CYAL50197672

The site consists of a three storey over basement building, with a modern extension to the rear. This application refers only to the roof, internal ceilings and internal surface of the external walls of the historic fabric.



**Photograph 1 – Internal View of the third floor – front room**



**Photograph 2 - View of the existing window**



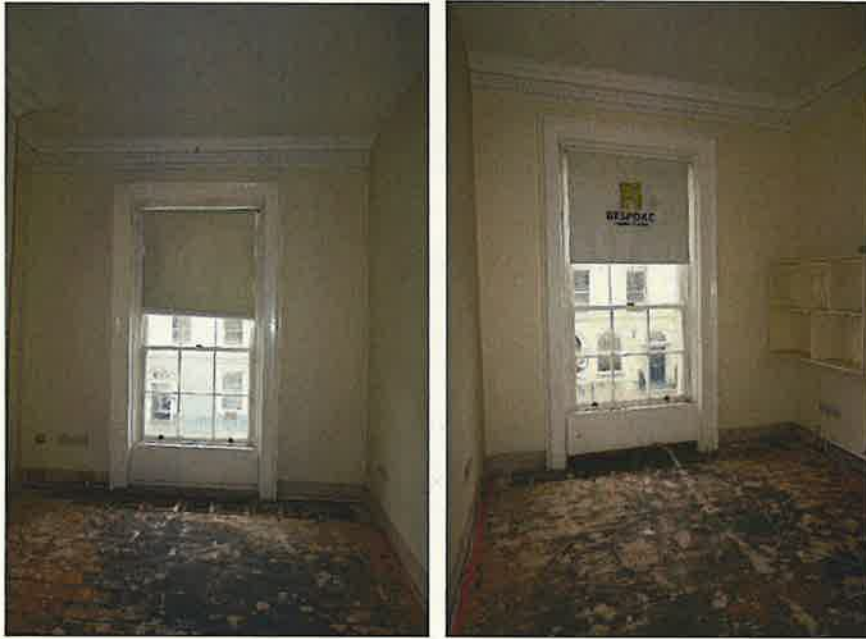
**Photograph 3 - View of the internal wall of the historic fabric at third floor level**



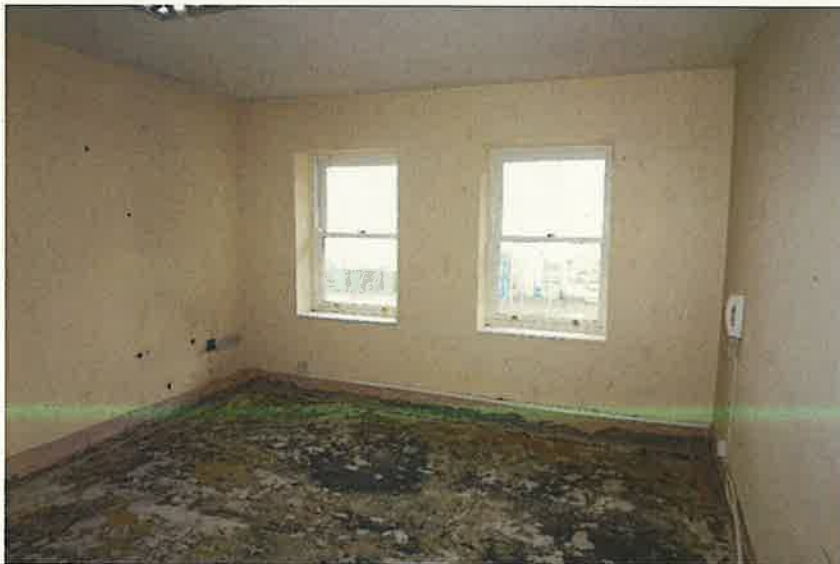
**Photograph 4 -View of the Second floor front windows and historic fabric**

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**Photograph 5 – View of the First-Floor Front windows and fabric**



**Photograph 6 - View of the historic fabric at the rear of the building**

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**Photograph 7 - View of the ground floor fabric and existing windows**



**Photograph 8 - View of the ground floor front room and entrance area**

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### 3.1.1 Historic Maps

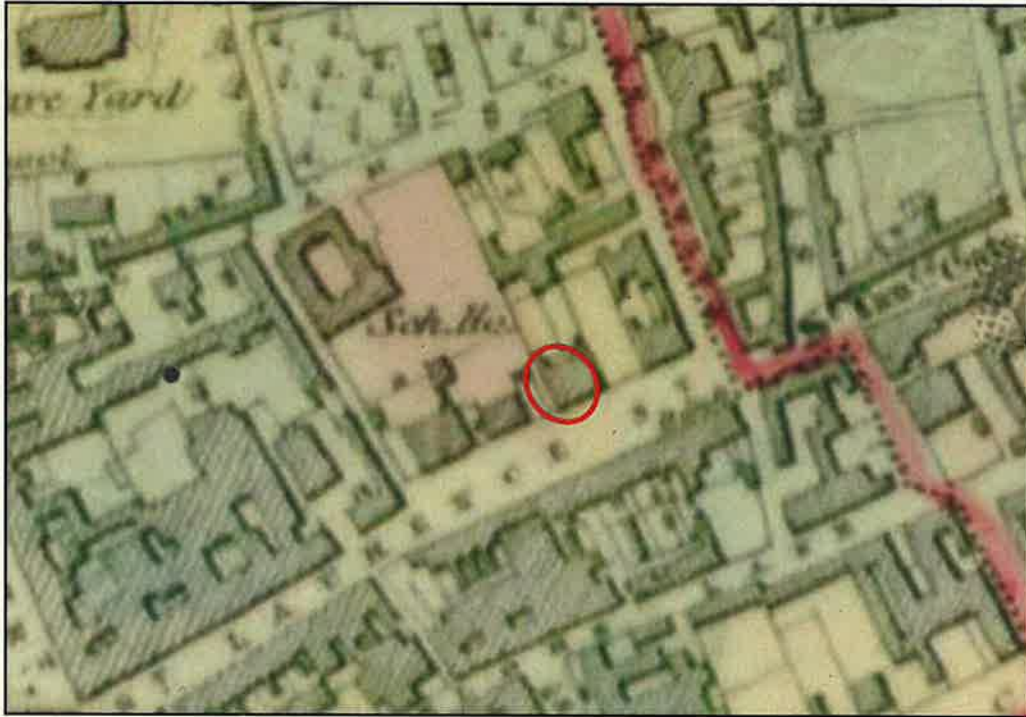


Figure 2 1<sup>st</sup> Edition Map ©OSI License ACP Architectural Conservation Professionals CYAL50197672



Figure 3 2<sup>nd</sup> Edition Map ©OSI License ACP Architectural Conservation Professionals CYAL50197672

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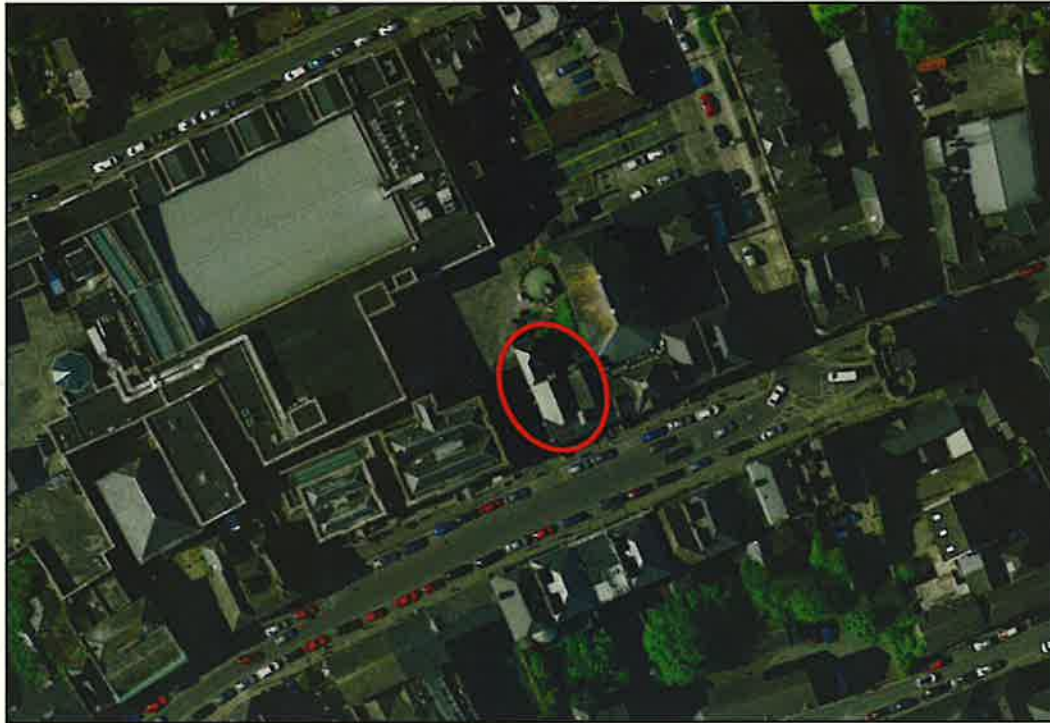


Figure 4 Digital Globe ©OSI License ACP Architectural Conservation Professionals CYAL50197672

From the maps, we can see a building has been located on the site since the creation of the first edition maps. On the first edition map, we can see that the west of the site was vacant while a neighboring building was attached to the east, this can still be seen onsite today. By the creation of the 2<sup>nd</sup> edition map, the vacant site to the west of the subject site has been filled in. This building has been removed (date unknown).

### 3.2 Protection Status

The building is a protected structure DB-122.

Protection Status	Y/N	Details
Record of Protected Structures (RPS)	Y	RPS DB-122
Recorded Monument (RMP)	N	
Architectural Conservation Area (ACA)	Y	See Figure 5
Special Area of Conservation (SAC)	N	
Special Protection Area (SPA)	N	
National Heritage Area (NHA)	N	
Zone of Archaeological Potential preservation order	Y	See Figure 5
State Guardianship or ownership	N	
NIAH Building Record	Y	NIAH Ref: 13619023
NIAH Garden Record	N	

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### 3.2.1 Record of Protected Structures Description:

DB-122	13619023	Laurence Street		Office	24(a)	No 20	Two-bay, four-storeys over basement, with pedimented doorcase c. 1760	Laurence Street contains some particularly fine examples of Irish architecture from various eras and of differing designs which make a valuable addition to the heritage of Drogheda.
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Figure 5 – RPS Record

### 3.3 NIAH (National Inventory of Architectural Heritage) Record and Description

<b>Reg. No:</b>	13619023
<b>Date:</b>	1780-1820
<b>Previous Name:</b>	Madden's
<b>Towns-land:</b>	Drogheda
<b>County:</b>	Louth
<b>Coordinates:</b>	309114, 275267
<b>Categories of Special Interest:</b>	Architectural, Artistic
<b>Rating:</b>	Regional
<b>Original Use:</b>	House
<b>In Use as:</b>	Office
<b>Additional Use</b>	N/A

#### 3.3.1 NIAH Description

##### **"Description**

Attached two-bay four-storey over basement former house, built c. 1800, as a pair with the adjoining house to the east. Extension to north. Now in use as offices. Pitched slate roof behind parapet with stone coping, smooth rendered corbelled chimneystack, gutter hidden by parapet, circular cast-iron down pipe. Smooth rendered ruled-and-lined walling, painted stone plinth course. Square-headed window openings, painted stone sills, painted timber six-over-six sliding sash windows, three-over-three sliding sash windows to third floor. Round-headed door opening, painted pilasters surmounted by scrolled console brackets supporting broken bed pediment, plain-glazed fanlight, painted timber door with ten raised-and-fielded panels, tooled limestone steps lead to entrance. Basement area bounded to south by granite plinth wall surmounted by wrought-iron railings, urn newel posts, gate to basement. Street fronted.

##### **Appraisal**

This Georgian houses, built as one of a pair with its neighbour to the east, has retained many original features, most notably the panelled door and attractive door surround with scroll console brackets and broken bed pediment. These buildings compliment their neighbours and form an attractive grouping on the historic streetscape. Laurence Street contains some particularly fine examples of Irish architecture from various eras and of differing designs which make a valuable addition to the heritage of Drogheda."<sup>2</sup>

<sup>2</sup> Source: <https://www.buildingsofireland.ie/buildings-search/building/13619023/20-saint-laurence-street-moneymore-drogheda-co-louth>



### 3.3.2 Zone of Notification

Zone of Archaeological Potential outlined in Blue and Architectural Conservation Areas outlined in Purple. 20 Saint Laurence Street is within both.

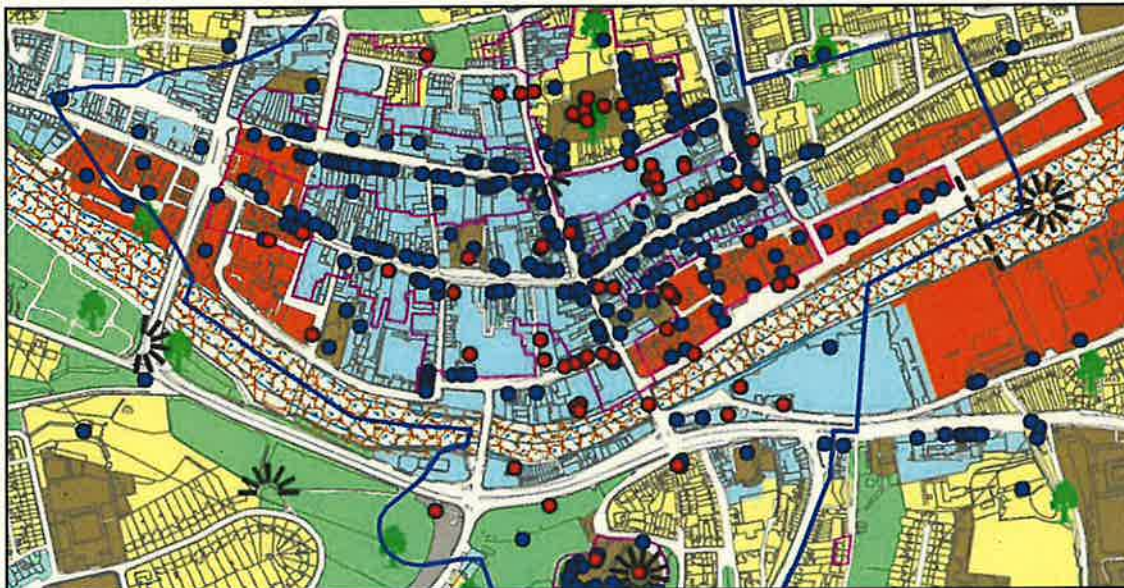


Figure 6: Drogheda Composite Map

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#### 4.0 Impact of proposed development

This section is only a prediction of proposed impacts as no impact has occurred as of yet. Please refer to Impact assessment drawings J904D001-J904D005 for details on the predicted impact of the proposal on the historic building. Figure below is an example.

##### 4.1 The 'do nothing' impact

If no works are carried out, then the building will remain in its current condition which is in a state of good repair but unused. The proposed works are to upgrade the building with the proposed roof works ensuring the building remain weather tight to avoid damages to the historic fabric.

A 'do-nothing' approach in relation to this site is not acceptable and all efforts should be undertaken to bring the building up to current modern standards, complying with all necessary regulations, while retaining the remaining historic features within the building.

##### 4.2 The Predicted Impacts

The predicted impacts of the proposed works are as follows;

Proposed Works	Predicted Impact
Dry lining of external walls.	The proposed Isover Optima System for the dry lining of the internal surface of the external walls is not in line with best conservation practice of using traditional materials.  It is unknown at this time what impact this system will have on historic fabric.
A new dropped ceiling to provide 60-minute compartmentation for Part B compliance to be fitted below existing covings and decorative work to be retained.	Positive impact on the building as it will ensure the original fabric remains in place and undamaged behind the dropped ceiling while ensure reversibility when required.
Repair works to existing roof.	Positive impact on the building and will restore the original style of fabric, while ensuring the building will be weather tight.

##### 4.3 The 'Worst Case' Scenario

The 'worst case' scenario in this case, would be if the proposed project was not undertaken and the necessary works to ensure the survival of the historic fabric were not carried out.



#### 4.4 Interaction of Impacts

N/A

#### 4.5 Assessment under Conservation Principles

The following Conservation Principles have been identified and are described in detail in the following sections.

- Principle 1 – Keeping a building in use
- Principle 2 – Researching and Analyzing
- Principle 3 – Using expert Conservation advice
- Principle 4 – Protecting the special interest
- Principle 5 – Promoting minimum intervention
- Principle 6 – Respecting earlier alterations of interest
- Principle 7 – Repairing rather than replacing
- Principle 8 – Promoting honesty of repairs and alterations
- Principle 9 – Using appropriate materials and methods
- Principle 10 – Ensuring reversibility of alterations
- Principle 11 – Avoiding incremental damage
- Principle 12 – Discouraging the use of Architectural salvage from other buildings
- Principle 13 – Complying with building regulations

##### 4.5.1 Principle 1 – Keeping a building in use

*It is generally recognised that the best method of conserving a historic building is to keep it in active use. Where a structure is of great rarity or quality, every effort should be made to find a solution which will allow it to be adapted to a new use without unacceptable damage to its character and special interest*

The proposed works involve the restoration of the subject site in lime with an overall approved planning application.

##### 4.5.2 Principle 2 – Researching and Analyzing

*Before formulating proposals for works to a protected structure, the developer should research its historical development and understand thoroughly the present condition of the structure. The research should encompass not only the main structure and its interior but also its curtilage and attendant grounds, where relevant and any structures or features within them which contribute to the special interest of the protected structure/site.*

*The research should include an analysis of the physical fabric of the site and any available documentary or other evidence. The work should only be undertaken by those with the appropriate knowledge and skill.*

In this case detailed research into the fabric and history of the site has been undertaken.



#### **4.5.3 Principle 3 – Using expert Conservation advice**

*Building conservation is a specialised discipline and the method of work needs to be specified by experts with a knowledge and experience of historic buildings.*

The Client has engaged a highly qualified and experienced design team to undertake this project including ACP Architectural Conservation Professionals to address all the conservation elements.

#### **4.5.4 Principle 4 – Protecting the special interest**

*The character and special interest of a protected structure can be damaged by inappropriate works. The most obvious being demolishing or partly demolishing a structure. It can also be stripped of its value and distinctiveness by neglect and decay, unsuitable alteration, uninformed repair or over restoration.*

There have been detailed discussions between the Project design team and client to ensure that the proposed works protect the character, historic fabric of the property and special interest where possible within the constraints of the client's requirements.

#### **4.5.5 Principle 5 – Promoting minimum intervention**

*The principle of promoting minimum intervention in a protected structure can be summed up by the maxim 'Do as much as necessary and as little as possible'. Dramatic interventions in a protected structure are rarely appropriate. The best work in conservation terms is often that which is low key, involves the least work and can be inexpensive*

In this case the minimum intervention is being proposed to make the building safe and to bring it up to modern regulations.

#### **4.5.6 Principle 6 – Respecting earlier alterations of interest**

*Alterations and additions to a structure can themselves be an irreplaceable part of a unique history. Different periods of alteration can inform the social and architectural history of the build heritage.*

*In order to appreciate the integrity of a structure, it is important to respect the contribution of different stages of its historical development.*

This principle will be respected during the proposed works.

#### **4.5.7 Principle 7 – Repairing rather than replacing**

*It should be the aim of good conservation practice to preserve the authentic fabric which contributes to the special interest of the structure. Good repair will arrest the process of the decay of the structure and prolong its life without damaging its character and special interest.*

This principle is being respected throughout the project where it is feasible. The use of traditional materials and methods enhances this approach.



#### **4.5.8 Principle 8 – Promoting honesty of repairs and alterations**

*To promote good conservation practice in line with the recommendations of international charters, repairs to a protected building or structure should generally be carried out without attempt at disguise or artificial ageing. This does not mean that the repair should be obtrusive or that inappropriate materials should be used in order to contrast with the historic fabric. A good repair, carried out with skill, leaves an interesting record of works done. Deliberately obscuring alterations confuses the historical record that is the building. New repairs should not detract from the visual integrity of the structure but should be discernible on closer inspection.*

This principle will be respected as part of the project. The proposed repair works to the existing historic fabric are to be carried out in accordance with best practice guidelines.

#### **4.5.9 Principle 9 – Using appropriate materials and methods**

*Only appropriate material and methods should be used in works to a protected structure. The use of modern materials and techniques should only be permitted where their appropriateness is supported by firm scientific evidence or where they have proved themselves over a sufficient period and where traditional alternatives cannot be sourced.*

The use of traditional materials and techniques is planned in this project where necessary. Modern materials and methods including services will be used where necessary, but due care and attention will be used to ensure that they have a minimal impact on the historic fabric.

#### **4.5.10 Principle 10 – Ensuring reversibility of alterations**

*The use of processes which are reversible or substantially reversible, when undertaking works to a protected structure is always preferable as this allows for the future correction of unforeseen problems, should the need arise, without lasting damage being caused to the architectural heritage.*

Detailed records and archival quality photographs will be taken and further recording will continue during the build to ensure the reversibility of the works. The proposed works are to be reversible where practical. On site discussions were undertaken by the Design Team to discuss and agree all interventions and to ensure that this principle is respected

#### **4.5.11 Principle 11 – Avoiding incremental damage**

*Thought must be given by the planning authority to the potential cumulative impact of minor works to the character of protected structures and of ACA's. The quality and character of both can be damaged by incremental alterations. In the case of protected structures this applies to both internal and external works.*

This principle will be respected during the proposed works.

#### **4.5.12 Principle 12 – Discouraging the use of Architectural salvage from other buildings**

*The use of architectural salvage from other buildings should not be encouraged for two reasons. Firstly, the re-use of architectural features from elsewhere can confuse the understanding and appreciation of a building, casting doubt on the authenticity of even the untouched part of the*



*fabric. Secondly, creating a market for salvaged building materials promotes the dismantling of other older buildings, for example the removal slates or cut-stone elements from a building for reuse elsewhere.*

This principle will be respected during the proposed works.

#### **4.5.13 Principle 13 – Complying with building regulations**

*The building regulations are designed to secure the health and safety of people in and around buildings.*

The proposed works have been designed in accordance with modern building regulations.



## 5.0 General Methodology

Please refer to section 1.1 *Project Details* above for proposed scope of works.

### 5.1 Method Statement – General

All the works will be carried out with best current practice of conservation of historic buildings – Department of Environment guidelines particularly No.'s 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 12, 15 & 16.

All works are to be carried out as per the conditions set out in the received Section 57 Declaration application.

All works will be carried out with conservation best practice and in accordance with the Department of Environment, Heritage, and Local Government Advise series.

- Brickwork - A guide to the repair of historic brick 2009
- Energy Efficiency in traditional buildings
- Iron - A guide to the repair of Wrought Cast Ironwork 2009
- Maintenance - A Guide to the Repair of Older Buildings 2007
- Roofs - A guide to the Repair of Historic Roofs
- Architectural Heritage Protection Guidelines for Planning Authorities, 2011

All works will be periodically inspected by the supervising Building Conservation Accredited Surveyor with experience in conservation/restoration of historic buildings.

Detailed daily records including photographs are to be kept of the works at all stages by the contractor.

**All contractors/site personnel and their staff will be required to have read this method statement and sign an undertaking that they have done so.**

The essential philosophical approach should be based on the following statement<sup>3</sup>:

*'It is fundamental to the conservation of architectural and historical evidence that work that has to be done should be achieved by the minimum intervention. No maintenance or repair should encroach on the original fabric more than is necessary to secure the future of the building. The need to keep most historic buildings in beneficial use needs to be borne in mind in proposing conservation policies. Change is a historic fact which, in the evolution of the building, may itself be of interest in the future; simple buildings with continuing active occupancies may well survive because of adaptation, whereas monuments are justified by their symbolic status. However, wherever possible, changes that are made should be reversible without damage to the original fabric'*

---

<sup>3</sup> BS 7913:1998



## 5.2 Method Statement - Recording of Works

The recording of the works as it progresses by the contractor is a very important aspect of this project. The contractor is required to prepare a daily record of works as per the Template below:-

<b>Project:</b> _____	<b>RPS No/Reference:</b> _____
<b>Description of Works:</b> _____	
<b>Client:</b> _____	<b>Contractor:</b> _____
<b>Conservation Consultant:</b> ACP Architectural Conservation Professionals. <a href="http://www.acpgroup.ie">www.acpgroup.ie</a>	
<hr/> <hr/>	
<b>Date:</b> _____	<b>Weather Conditions:</b> _____
Works Undertaken:	
Problems Encountered:	
Solutions Used:	
Photographic Record (digital photographs with date stamp):	
<b>Signed:</b> Daily record of <u>all</u> works to a Protected Structure or Proposed Protected Structure to be prepared by the Contractor for inspection by the Conservation Consultant and added to the Record on completion of the works.	

**The contractor is to include an up-to-date interim report with his interim valuations. Please note that this is a condition of Certification.**

The Final Daily Record of Works Report (1 copy of the report with Photographs in A4 bound format to be supplied and a soft copy via PDF) including all the interim reports and bringing the works up to date is to be included with the Final Account. This is also a condition of Certification.



### **5.3 Method Statement – Demolition works.**

Machine operated equipment is only allowed on the removal of modern material. Hand operated equipment is required when working directly with historic fabric. The use of pneumatic drills, hammers etc. is to be carefully monitored and are to be used only if no damage through vibration or otherwise is being caused and only with the prior approval of the Building Conservation Accredited Surveyor. The contractor is to take all necessary precautions to protect the fabric from collapse/damage during the works.

Where fabric is to be taken down, opened up, altered or demolished, this is to be undertaken in agreement with the appointed Building Conservation Accredited Surveyor and it is to be phased to allow for recording and taking of necessary samples. The phasing is to be agreed on site with the Building Conservation Accredited Surveyor and the contractor to ensure that adequate time and attendances are provided to ensure this recording – Retention by Record to ICOMOS standard is achieved.

Any Dismantled fabric for disposal (as agreed with the Building Conservation Accredited Surveyor) is to be removed offsite to a licensed tip.

### **5.4 Method Statement – Scaffolding**

All scaffolding is to be erected by a qualified competent person. The scaffolding must support itself. No screws or fixings to be placed/mounted on the historic fabric. Scaffolding to be carefully assembled, complete with ladders, loading platforms, hoist mounts, safety rails, debris nets and shelter as required.

All required Certification is to be supplied to the contractor on completion of scaffolding for inclusion in the safety file. Scaffolding signs and tags and all other safety notifications as required under Health and Welfare at Work (Construction) Regulations 2013 are to be displayed on completion of scaffolding.

Scaffolding is to be sufficient to perform the full scope of works as specified in the contract documents and onsite with the Building Conservation Accredited Surveyor. The contractor is to ensure that where a scaffold is designed for purpose for nonstandard work that it is sufficient to access and complete the full scope of works. No deviations will be allowed for within the scope of works.

### **5.5 Method Statement – Health and Safety**

The contractor is to ensure that the site is always secure and that every effort is made to protect works staff, site visitors etc. from injury from the works. The contractor is responsible for the disposal of all waste material through a licensed waste disposal company.

A copy of all the certification attained from the licensed waste disposal company is to be provided to the employer with the project Safety File.

**The contractor is to undertake the role of PSCS for the contract.**



### 5.6 Method Statement – Protection of Fabric during works

1. Provide such protection as is necessary to prevent any damage to the building/ fabric when removing/storing/transporting/replacing components or materials.
2. Confirm items and elements that are to be protected by contractor before commencement of work.
3. Prepare softwood or other supports protection as required.
4. Scaffolding will be erected as required and dismantled by competent scaffolders. Care will be taken to avoid any damage to the stonework/existing fabric by the scaffolding during erection, while in place and when being dismantled.
5. Exposed openings such as doors and or windows will be securely sealed / locked to prevent unauthorised access.
6. No contact with the building is allowed and no screwing/fixing to the walls is permitted under any circumstances of a nature which would give causation to damage to the historic fabric of the building.

### 5.7 Method Statement – Sequencing of Work

The contractor will be required to prepare a **construction programme** and work **method statements** for the approval of the Building Conservation Accredited Surveyor prior to the commencement of the works, to ensure the sequencing of work is compatible with the fabric.

The contractor must be experienced in working with historic buildings and protected structures and therefore be able to provide sufficient evidence of previous works of a similar nature carried out under best conservation practice.

The contractor must be tax compliant i.e., have current Tax Clearance Certificate, and hold appropriate insurances and be in compliance with all current Health & Safety Legislation.

### 5.8 Method Statement - Materials and workmanship

All works to be conducted to all relevant codes of practice, manufactures recommendations, and BS8000 and subsequent standards e.g., BS 8000-1, BS 8000-2 etc.

All works to comply with current building regulations and relevant Technical Guidance Documents in so far as is practical in retrospect of the historic fabric. This Method Statement and Specification document is to be cross referenced with the accompanying Drawing Package as required.

The contractor is to confirm all dimensions onsite prior to commencing works, and report any discrepancies to the PSDP when found. All works are to comply with the attained permissions for the subject Building (s) and site.

All works are to be supervised by the contractor's foreman onsite in consultation with the appointed Building Conservation Accredited Surveyor.



Contractors are to supply all necessary DATA sheets and certificates on completion of the project or as requested by the appointed Building Conservation Accredited Surveyor during the course of the project.

All of this information is to be included in the project Safety File to be presented at Practical Completion.

## **6.0 External Works.**

### **6.1 Method Statement – Roofing**

The original roof covering of the subject site is to be fully assessed and repaired where necessary.

Roofing works are to conform to the current Codes and Standards<sup>4</sup>.

All necessary works are to be done as follows, if necessary.

#### **6.1.1 Ridge Tiles and Slates**

The existing roof planes of the site is to be recorded by the contractor prior to commencement of works. Photographs are to be taken, annotated, and printed and kept on site for reference.

The Ridge Tiles are to be carefully removed. Ridge tiles are to be cleaned of any cement etc prior to storage for reuse. Breakages are to be avoided where possible. An inventory of the ridge tiles is to be compiled for the purpose of finalising the procurement of replacement ridge tiles.

The original slates are to be salvaged. The slates are to be carefully removed from the roof and stacked in accordance to:

- The roof plane they came from.
- Stacked in the rows they came from.
- Slates are to be stacked vertically to ensure minimum number of breakages in storage.
- To be stored on site and in pallets.

On reinstatement the slates are to be affixed to the plane from which they came using copper nails. Preference however will be afforded to the roof plane facing Moore Street which will be slated fully with original natural salvaged slates which may be taken from the other roof planes if needed to ensure that these planes are consistent.

---

<sup>4</sup>**References and standards:** BS 5534: 2003 UK Code of Practice for Slating and Tiling; ICP 2: 2002 Irish Code of Practice for Slating and Tiling; BS EN 12326-1: 2004 Specification for slate and stone products for discontinuous roofing and cladding.; BS 747: 2000 Specification for roofing felts. BS 4016: 1997 Specification for flexible building membranes (breather type); BS 8000 Workmanship on building sites: Part 6: 1990, Code of practice for slating and tiling of roofs and claddings; BS 1202: 1974 Specification for nails; BS 6399 Part 2: 1997, Code of practice for wind loads; Part 3: 1988, Code of practice for imposed roof loads; BS 5250: 2002 Code of practice for control of condensation in buildings; BS 8104: 1992 Code of practice for assessing exposure to wind-driven rain. BSEN 12588:2006 Rolled Lead Sheet.



The remaining planes are to be slated with the surviving original natural salvaged slates and new natural slates procured to match the original slate, in material, colour and size.

Where new slates are proposed, the slate will be from the approved list as advised by the Advice Series Publication “*Roofs: A Guide to the Repair of Historic Roofs*” by the Department of the Environment, Heritage and Local Government. Samples of the proposed slate are to be furnished to the supervising Building Conservation Accredited Surveyor for prior approval.

Roof ventilation strip are to be installed beneath the first double course of slate at eaves and flush ventilator slates are to be installed within the internal valley roof planes.

### **6.1.2 Roof Timbers**

Upon partial removal of the roof covering, the roof structure is to be inspected by the appointed Building Conservation Accredited Surveyor to ascertain the full extent of repairs necessary, in the presence of the contractor.

Generally, the contractor is to undertake necessary repairs to the roof structure, as agreed with the appointed Building Conservation Accredited Surveyor.

The general scope of works regarding the roof timbers is as follows:

- Timber elements to be repaired will be cut back a minimum of 300mm beyond the affected area. Typical repair methods for timber applications are included in the appendices.
- All replacement timber used is to match the original in size and form. The timber is to be supplied kiln dried.
- Where timber is exposed internally or externally and is in need of repair/replacement the timber used should match the original in dimensions, species of tree and growth ring density per cm<sup>2</sup>.
- All timber is to be treated with a clear animal friendly preservative on completion of the works to the roof carcass.

### **6.1.3 Rolled Lead Sheet:**

Rolled Lead Sheet is to be applied to the chimney flashing and counter flashing, internal valley and roof valleys. Installation is to comply with BS EN 12588:2006 and the guidance as put forth in “Rolled Lead Sheet – The Complete Manual” version ref LSA003 2015.

## **7.0 Internal works**

### **7.1 Ceilings:**

The existing ceilings are to remain in place with a suspended fire rated ceiling installed.

#### **7.1.1 Lath and Plaster Ceiling repair**

The Lath and Plaster Ceilings may require “pinning” back to the back riven laths and ceiling joists. The ceiling is to be pinned, if necessary, using a system of stainless steel “mushroom” screws affixed through the laths onto the ceiling joists. The existing plaster along the joists where the



“mushroom screws” are to be inserted is to be core drilled (to the size of the fixings, approximately 50mm in diameter, using a low gear speed in order to avoid over vibration) and removed carefully, leaving the laths in place.

These fixtures are to be inserted at 300 – 350mm centres along the joists as required and filled out on completion using a Natural Hydraulic Lime based mortar and finished with a natural plaster finish, level with the surrounding existing plaster.

Any cracks or crazing to the ceiling surface are to be scraped out to form a clean (free from dust and loose plaster, but suitable to act as a key for the repair infill plaster) surface and then in filled with a natural plaster and finished level with the surrounding surface.

All plaster/lime render areas to be worked on are to be thoroughly wetted down prior to the application of the material in order to ensure successful adherence to the existing fabric.

#### ***7.1.2 Modern plasterboard ceiling repair***

Any failed sections of plaster board are to be carefully removed (Cut squarely and uniformly in order to ensure a clean repair to the failed section) from joist centre to joist centre.

A matching gypsum plaster board (e.g. Fire Rated Board) is to be cut to match the removed section, screwed fixed in place to the ceiling joists at 200mm centres; the tapered slab edge is to be in filled with a fired rated plaster repair filler, the top surface of the joint is to be taped and bonded and the slab is to be skim coated, finished level with the surrounding surface.

#### **7.2 Modern partitions**

All modern partitions are to be free standing and constructed in accordance with manufacturers specifications.



## 8.0 Signing Off Statement

### Conservation Company:

ACP Archcon Professionals Limited. (Registration No: 591604). Trading as ACP.



### Author(s):

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Chartered Building Engineer  
Chartered Building Surveyor  
Chartered Landscape Architect  
Chartered Project Manager  
Chartered Environmentalist

**Nancy O'Keeffe** BSc(Int Arch), Assoc SCSI, C.Build.E, MCABE  
Director of Conservation Architecture  
Historic Architectural Consultant / Project Architect  
Chartered Building Engineer  
Registered Building Surveyor

**Client:** RDF Architects & Planning Ltd.

**Signed:** \_\_\_\_\_  
For ACP Archcon Professionals Limited.

**Date:** 05/04/2023



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## 9.0 Project References

The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance, 2013.

<http://australia.icomos.org/>

National Inventory of Architectural Heritage

<http://www.buildingsofireland.ie/>

Planning and Development Act 2000, Part IV

<http://www.irishstatutebook.ie/eli/2000/act/30/section/51/enacted/en/html#partiv>

Architectural Heritage Protection – Guidelines for Planning Authorities, DAHG 2011

[http://www.buildingsofireland.ie/FindOutMore/Architectural%20Heritage%20Protection%20-%20Guidelines%20for%20Planning%20Authorities%20\(2011\).pdf](http://www.buildingsofireland.ie/FindOutMore/Architectural%20Heritage%20Protection%20-%20Guidelines%20for%20Planning%20Authorities%20(2011).pdf)

Irish Architectural Archive

<https://iarc.ie/>

National Monuments Service Ireland

<https://www.archaeology.ie/>

County Council Web Site

<https://www.louthcoco.ie/>

Ordnance Survey Ireland

[www.osi.ie](http://www.osi.ie)

Trinity College Dublin – Glucksman Map Library

<https://www.tcd.ie/library/map-library/>



## **10.0 Appendices**

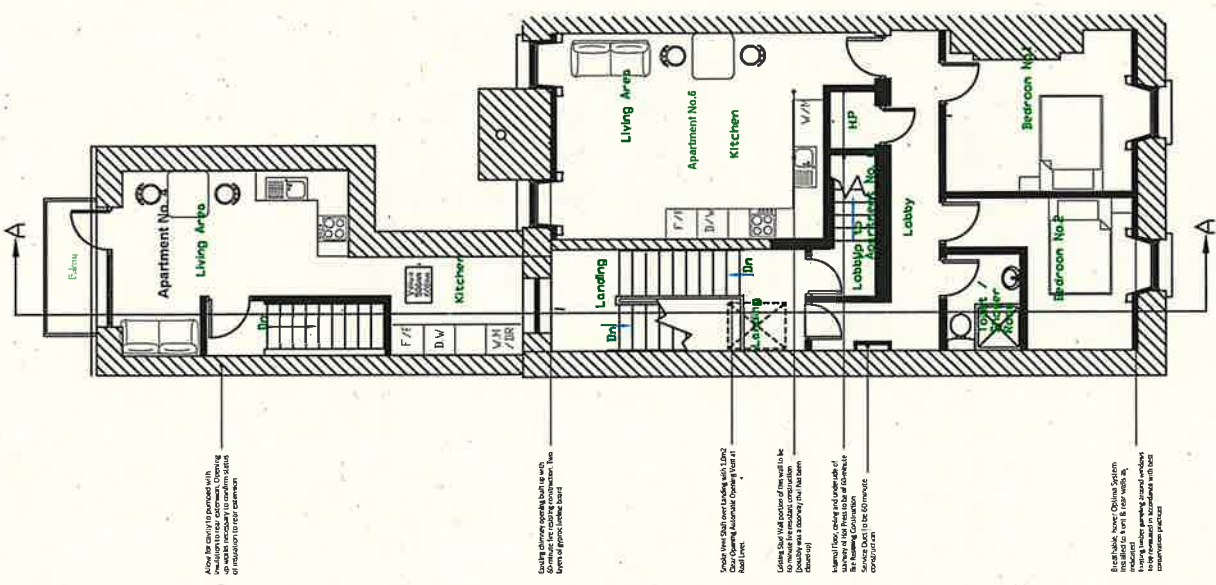
**Impact Assessment Drawings.**

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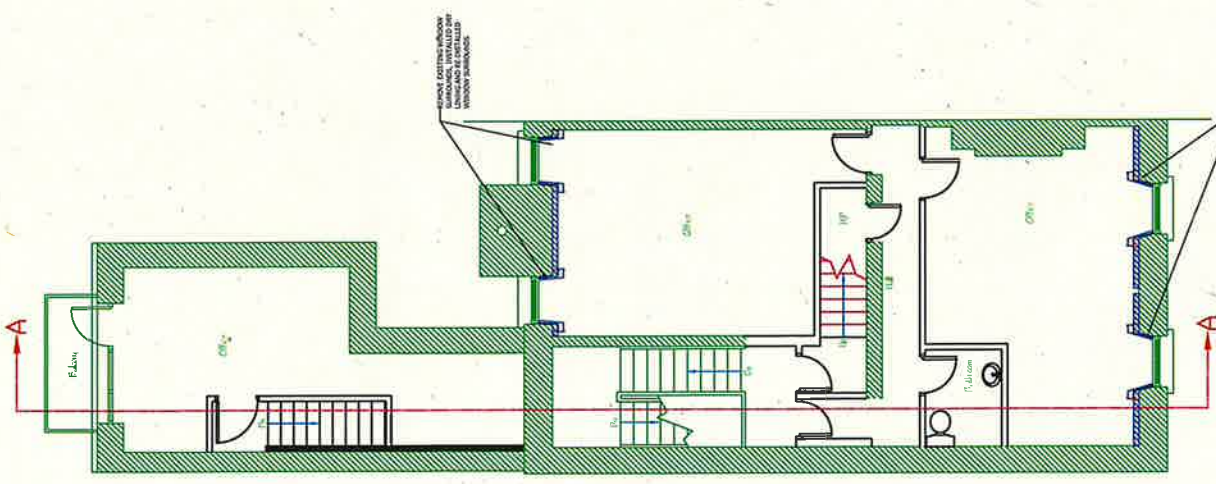
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Proposed Second Floor Plan



Existing Second Floor Plan

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 BN1 2RQ  
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 Fax: 01323 550002  
 Email: info@architecturalprofessionals.co.uk  
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**Client:** [Blank]

**Drawn By:** [Blank]  
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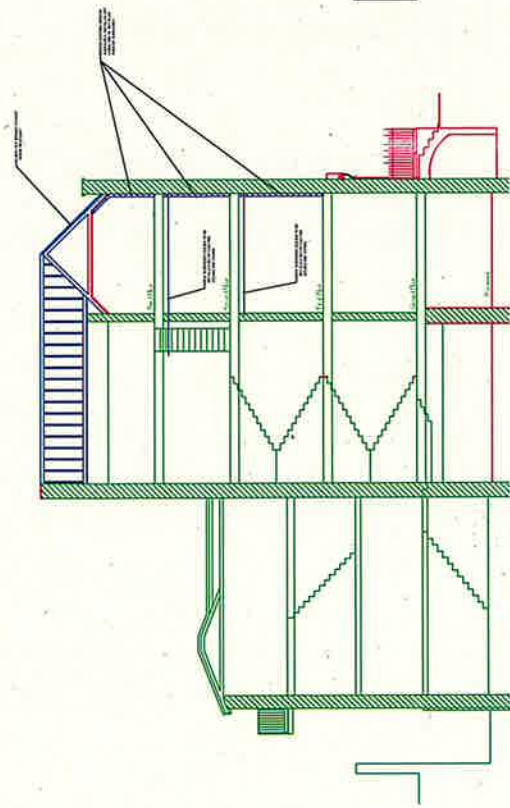
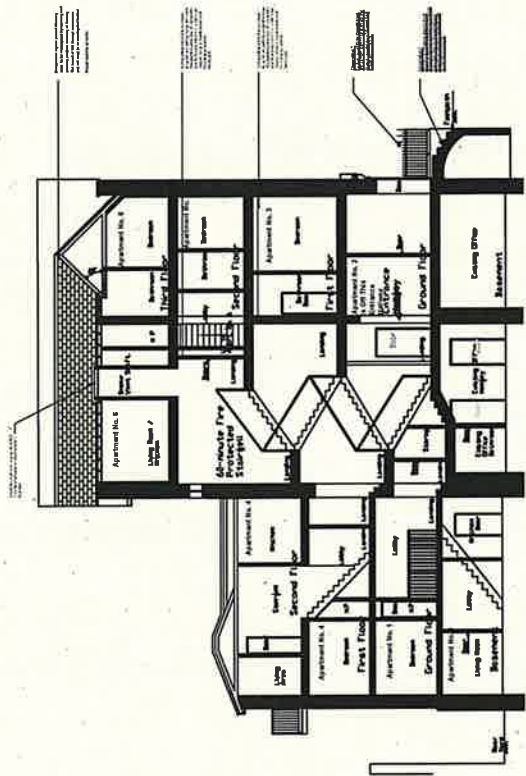
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 Client: \_\_\_\_\_

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Proposed Section

Existing Section



### **Lime Specification -**

To be either:

Mortar sampling to ascertain the original mix used may be undertaken if deemed necessary by the supervising Building Conservation Accredited Surveyor.

NHL 3.5 Natural Hydraulic Lime

### **Stonework**

- a) All stonework to be the best of its kind and laid on its natural quarry bed.
- b) Arch stones and other stones to match existing are to be edge bedded.

Stone finish is to match existing where repairing or replacing existing stone finishes e.g. the size of the individual units is to match the existing. The stone is to be hewn in the same manner as the existing.

The Stone is to be laid in sympathy with the existing (corbelling detailing, dentil detailing, random rubble and coursed random rubble finishes).

### **Sand**

For pointing and bedding mortar use clean, sharp local sand, well graded to a maximum size of 5mm.

### **Source Guarantee**

Each repair or replacement is to be carried out using stone of similar type and appearance to the original limestone or stone type present.

### **Quality**

Stone is to be free from defects that will affect integrity in use adversely and free from defects visible in completed work.

### **Samples**

Submit samples of stone sufficiently large enough to show natural variations and specified finishes for approvals before ordering. Ensure that the delivered commodities match samples. Prepare sample of facing stone at least 1m<sup>2</sup> in size for approval prior to undertaking the remainder of the stone works

### **Seasoning**

Stone is to be thoroughly seasoned at time of delivery.

### **Materials for Mortar**

As Specified below. Samples must be submitted for approval. Aggregates shall be clean, sharp and matching the coarseness and colour of the surviving original as clearly as possible.

### **Mortar Mix**

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Mix ratio is to be 3:1 (3 Sharp sand, 1 NHL Lime). Mortar is to be mixed using a paddle or roller pan mixer. Mix of binder and aggregate should be firstly be mixed dry with water slowly added thereafter until the required consistency is achieved.

Mortar is not to be “refreshed” should setting commence during the working day. The mix should be instead discarded and a new mix made up.

### **Joint Finish**

The facing joints are to be finished flush with the surrounding masonry. The joint is stippled with a churn brush in order to attain the required finish.

This finish should be applied at regular intervals during the day especially during warm weather in order to ensure the joints are not cured prior to finish being applied. Striking of the joint as a finish is unacceptable.

The face of the worked masonry should be kept moist during the working day to aid in the curing of the freshly laid masonry.

### **Protection of Work**

Freshly laid masonry components are to be protected from the element until sufficiently cured. The masonry (laid with NHL based mortar) is to be covered with hessian fabric during breaks in work and at the end of each working day.

The hessian is to be clear of the wall and kept moist to aid in the curing of the mortar.

If inclement weather is forecast during the duration of the works, the freshly worked masonry and area of forth coming work is to be protected by way of an impervious covering.

This covering is to be in place and ready for application at the commencement of works.

### **Anchors, Cramps and Reinforcement**

To be Helifix HeliBar Rod where suitable, or other equal and approved. Cramps are to be stainless steel or similar approved by the supervising Building Conservation Accredited Surveyor.

### **Biocides and Fungicides**

SOPP (sodium orthophenylphosphate), water soluble.

### **Stainless Steel Threaded Rods, Bolts and Washers**

To BS EN ISO 3506 austenitic stainless steel (grade 316); sizes to be agreed with the conservation surveyor/engineer.

## **LIMECRETE**

### **Water**

Water is to be clean and uncontaminated (drinking water). Obtain conservation surveyor/engineer's approval for other than mains supply.



### **Surface Preparation**

The area to be concreted with limecrete should be clean of top soil and vegetable matter. A hardcore base of clean hardcore (minimum depth 150mm) should be well compacted down by use of a vibrating plate. A limecrete floor requires no D.P.M. as the lime method is to allow moisture to breathe through a structure.

### **Laying the Limecrete**

Limecrete is laid in a single layer of 50mm or can be laid at a greater thickness of 100mm by laying 2 x 50mm layers. These 2 layers should be laid onto one another while the lower layer is still green (no longer than 12 hours between layers)

### **Mixing**

Limecrete should be mixed to the consistency of a floor screed i.e., a semi-dry state, which will hold together when squeezed by hand, wet traditional concrete type mixes will result in excessive shrinkage. If possible, a screed mixer or roller pan mill should be used and drum cement mixers tend to result in the mix balling.

### **Finishes**

Simple limecrete over-sites can be finished by tamping with a wooden or steel tamper and lightly tightened with a timber or polyurethane float or working with a vibrating plate. Fine surface should be screeded and tamped in a float screeding manor and then scoured with the float and trowelled.

### **Aftercare**

Once laid limecrete should be kept damp for 96 hours (minimum). This may call for spraying with water during warm and hot periods. Limecrete must always be protected from freezing conditions for the first 10 days after laying. Traffic should be avoided for 10 days, and thereafter-protective boards should cover the work for 3 weeks before exposure to general traffic.

### **Mixes**

1 Part NHL5 2 Parts blended aggregate – 33% Washed Sharp Sand 66% Aggregate 10-18mm

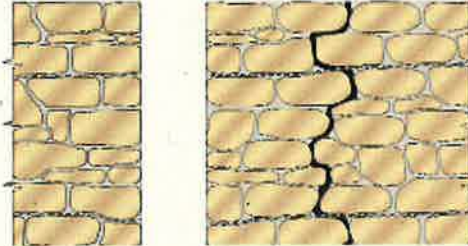


## CS10 Repair of a Crack Near a Corner in a Stone Wall using HeliBars

### METHOD STATEMENT

1. Using a twin-bladed, diamond-tipped wall chaser and vacuum attachment, cut slots into the horizontal mortar joints, to the specified depth and at the required vertical spacing. Ensure that NO mortar is left attached to the exposed stone surfaces in order to provide a good masonry/grout bond. This operation may require the use of hand tools to remove the mortar due to the random nature of the stone.
2. Remove ALL dust and mortar from the slots and thoroughly flush with water. Where the substrate is very porous or flushing with water is inappropriate, use HeliPrimer WB. Ensure the slot is damp or primed prior to commencing step 5.
3. Mix HeliBond cementitious grout using a power mixer and load into the HeliFix Pointing Gun CS.
4. Fit appropriate mortar nozzle.
5. Inject a bead of HeliBond grout, approx. 15mm deep, into the back of the slot.
6. Push the 6mm HeliBar into the grout to obtain good coverage.
7. Inject a second bead of HeliBond grout over the exposed HeliBar and iron it into the slot using a finger trowel. Inject additional HeliBond grout as necessary, leaving 10-15mm for new pointing.
8. Point up the remaining slot with a suitable matching mortar and make good the crack using an appropriate HeliFix bonding agent depending on the width of the crack.
9. Clean tools with clean, fresh water.

*N.B. Pointing may be carried out as soon as is convenient after the HeliBond has started to set.*



### RECOMMENDED TOOLING

- For cutting slots up to 40mm deep.....Twin-bladed cutter with vacuum attachment  
 For mixing HeliBond.....3-jaw-chuck drill with mixing paddle  
 For injection of HeliBond into slots.....HeliFix Pointing Gun CS with mortar nozzle  
 For smoothing pointing.....Standard finger trowel

### Specification Notes

The following criteria are to be used unless specified otherwise:

- A. Depth of slot into the masonry to be 35mm to 40mm.
- B. Height of slot to be equal to full mortar joint height, with a minimum of 8mm. For thin mortar joint specifications refer to the HeliFix Technical Dept.
- C. HeliBar to be long enough to extend a minimum of 500mm either side of the crack or 500mm beyond the outer cracks if two or more adjacent cracks are being stitched using one rod.
- D. Nominal vertical spacing is 450mm.
- E. Where a crack is less than 300mm from the end of a wall or an opening the HeliBar is to be continued for at least 100mm around the corner and bonded into the adjoining wall.
- F. In hot conditions ensure the masonry is well wetted or primed to prevent premature drying of the HeliBond due to rapid de-wetting. Ideally additional wetting of the slot, or priming with HeliPrimer WB, should be carried out just prior to injecting the HeliBond grout.
- G. Do not use HeliBond when the air temperature is +4°C and falling or apply over ice. In all instances the slot must be thoroughly damp or primed prior to injection of the HeliBond grout.

The above specification notes are for general guidance only and HeliFix reserves the right to amend details/notes as necessary.

### GENERAL NOTES

If your application differs from this repair detail or you require specific advice on your particular project, call the HeliFix Technical Sales Team on 020 8735 5222. Our Technical Department can provide you with a full support service including:

- Advice, assistance and recommendations on all structural repair matters
- Drafting and preparing complete repair proposals for specific situations
- An insurance-backed warranty via our Approved Installers scheme

Ireland

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# REABILITA CAL Grout

NHL based injection grout for ancient masonry

T.C.E.083.1 EN

## 1. DESCRIPTION

The REABILITA fluid injection grout is a pre-dosed mortar, formulated exclusively with Natural Hydraulic Lime, for the structural reinforcement of ancient masonry, in which injection techniques are applied.

It features high fluidity and excellent workability properties that allow the filling of the voids in the interior of the structure that needs consolidation.

Its exclusive, natural hydraulic lime based formula ensures a total chemical and mechanical compatibility with ancient substrates, with optimized characteristics such as, elasticity, water vapor permeability, resistance to salts and the moderate development of the mechanical resistance over time, that ensure an excellent conservation of historic heritage buildings.

The absence of soluble salts in the REABILITA fluid injection grout eliminates the appearance of degradation phenomena associated to the formation of efflorescence.

## 2. FIELD OF APPLICATION

The REABILITA fluid injection grout is used in the injection of ancient brick, stone or mixed masonry substrates with reinforcement needs, such as resistant walls, foundations, pillars, arches and vaults.

Its exceptional fluidity allows the consolidation of the interior of structures, as well as the treatment of cracks.

## 3. PRODUCT CHARACTERISTICS

PRODUCT IN POWDER	Value	Standard
Granulometrics # 200 µm (%)	≤ 2,0	-
PRODUCT IN PASTE	Value	Standard
Mixing Water (%)	30,0 ± 0,5	EN 1015-2
Theoretical consumption (kg/lt)	1,4	-
Slump flow (mm)	>170	NP EN 446
Density (kg/m <sup>3</sup> )	1900	EN 1015-2
HARDENED PRODUCT	Value	Standard
Flexural Strength (MPa)	> 4,5	EN 1015-11
Compressive strength (MPa)	> 16	EN 1015-11

## 4. APPLICATION

### Preparing the masonry

The substrate must be submitted to a mincing intervention, in order to remove old renders, for the verification of the masonry's condition.

The surface must be previously washed with water in order to eliminate any soluble or insoluble substances, harmful to the reinforcement technique. Washing can be carried out with the use of a water jet, taking the necessary caution measures in order to avoid damaging the wall, namely on joints or cracks. As an alternative, cleansing may be done mechanically, with metallic brushes.

Cracks must be sealed and the masonry mortar must be re-pointed in order to avoid grout leakage during injection. In this case, we recommend the use of REABILITA Cal Consolidation mortar, REABILITA RA 01 or REABILITA RJ 35, depending on the type of façade requested.

The holes where the tubes will be introduced are executed, in general, with a drill. Avoid drilling the masonry units, conducting the drilling, whenever possible, over the joints. The holes normally have a variable diameter of 20 to 40 mm, executed with a slight downward inclination, and with a depth of around 2/3 of the wall thickness.

In structures with a thickness below 60 cm, the holes are normally conducted on only one side of the wall, for higher thicknesses, we recommend intervention on both sides of the wall

### Secil Argamassas

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## External Render

External Rendering						
COAT	MIX Ratio SAND : LIME	NHL STRENGTH	FIBRES ADDED	SAND TYPE	APPROX. COAT THICKNESS	COMMENTS
SCUD	1.5 : 1	3.5	Yes	GRITTY	standard scud	CAN ADD SMALL AMOUNT OF PEBBLE TO IMPROVE KEY FOR NEXT COAT
DUB OUT	2.0 : 1	3.5	Yes	WASHED, SHARP	N/A	MAY OR MAY NOT BE NECESSARY
SCRATCH	2.0 : 1	3.5	YES	WASHED, SHARP	10-12mm	MAN MADE FIBRES or ANIMAL HAIR added for extra tensile strength and reduced shrinkage
FINISH (COAT & 1/2)	2.5 sand : 1 lime	3.5	YES	WASHED, SHARP	10-12mm	MAN MADE FIBRES or ANIMAL HAIR added for extra tensile strength and reduced shrinkage. Finish is to match existing style on the chimney stacks.

Table 1 External Render specification.<sup>5</sup>

<sup>5</sup> Source: Stoneware Studios, Youghal, Co. Cork



**Internal Render/Plaster Table:**

INTERNAL PLASTER ONTO SOLID MASONRY SUBSTRATE						
COAT	MIX (SAND : NHL)	NHL STRENGTH	FIBRES ADDED	SAND TYPE	APPROX. COAT THICKNESS	COMMENTS
SCUD	1.5 : 1	NHL2	YES	GRITTY	standard scud	CAN ADD SMALL AMOUNT OF PEBBLE TO IMPROVE KEY FOR NEXT COAT
DUB OUT	2.0 : 1	NHL2	YES	WASHED, SHARP	N/A	MAY OR MAY NOT BE NECESSARY
SCRATCH	2.0 : 1	NHL2	YES	WASHED, SHARP	10-12mm	MAN MADE FIBRES or ANIMAL HAIR added for extra tensile strength and reduced shrinkage
A second scratch(sometimes referred to as the Float coat) coat may be required to 'straighten' wall, same detail and mix as first scratch coat.						
FINISH COAT	PRE-MIXED "SETTING STUFF"	Mature Lime putty binder	No	Silica Sand combination	3MM	A combination of SILICA SAND & AGED LIME PUTTY 20L (37kg) BUCKETS mixed through roller pan mixer and provided ready to use. Finish with scouring float and steel trowel to achieve SMOOTH FINISH

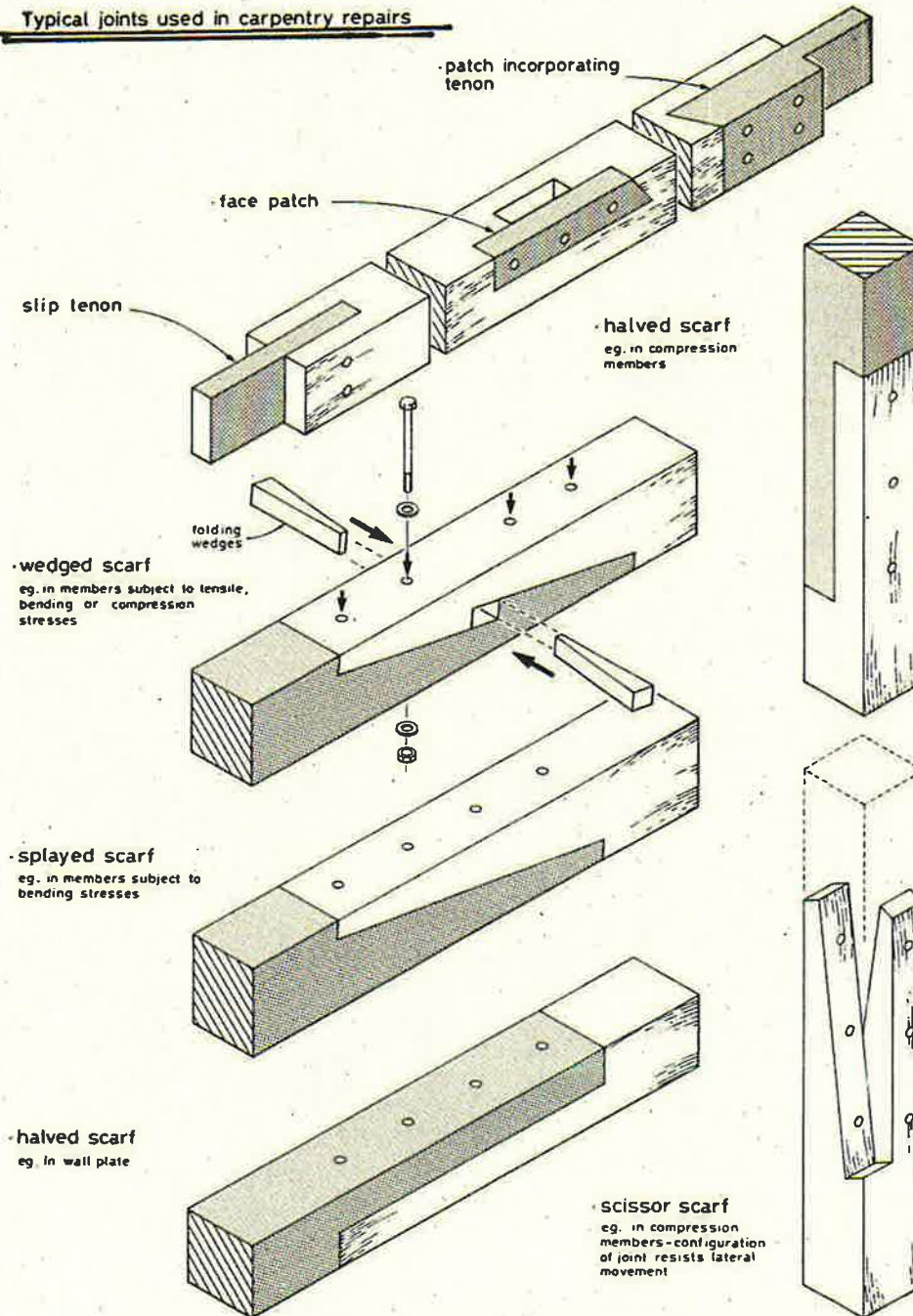
**Table 2 Internal Plaster onto solid substrate specification.<sup>6</sup>**

<sup>6</sup> Source: Stoneware Studios, Youghal, Co. Cork.





Typical joints used in carpentry repairs



*Fig Scarf joints in traditional timber-to-timber carpentry repairs. In the situations exemplified, these types of repairs should always be considered first, rather than resorting to substitute materials (illustration: Gower Technical Press)*

**Figure 8 Timber Repair – Typical Joints**

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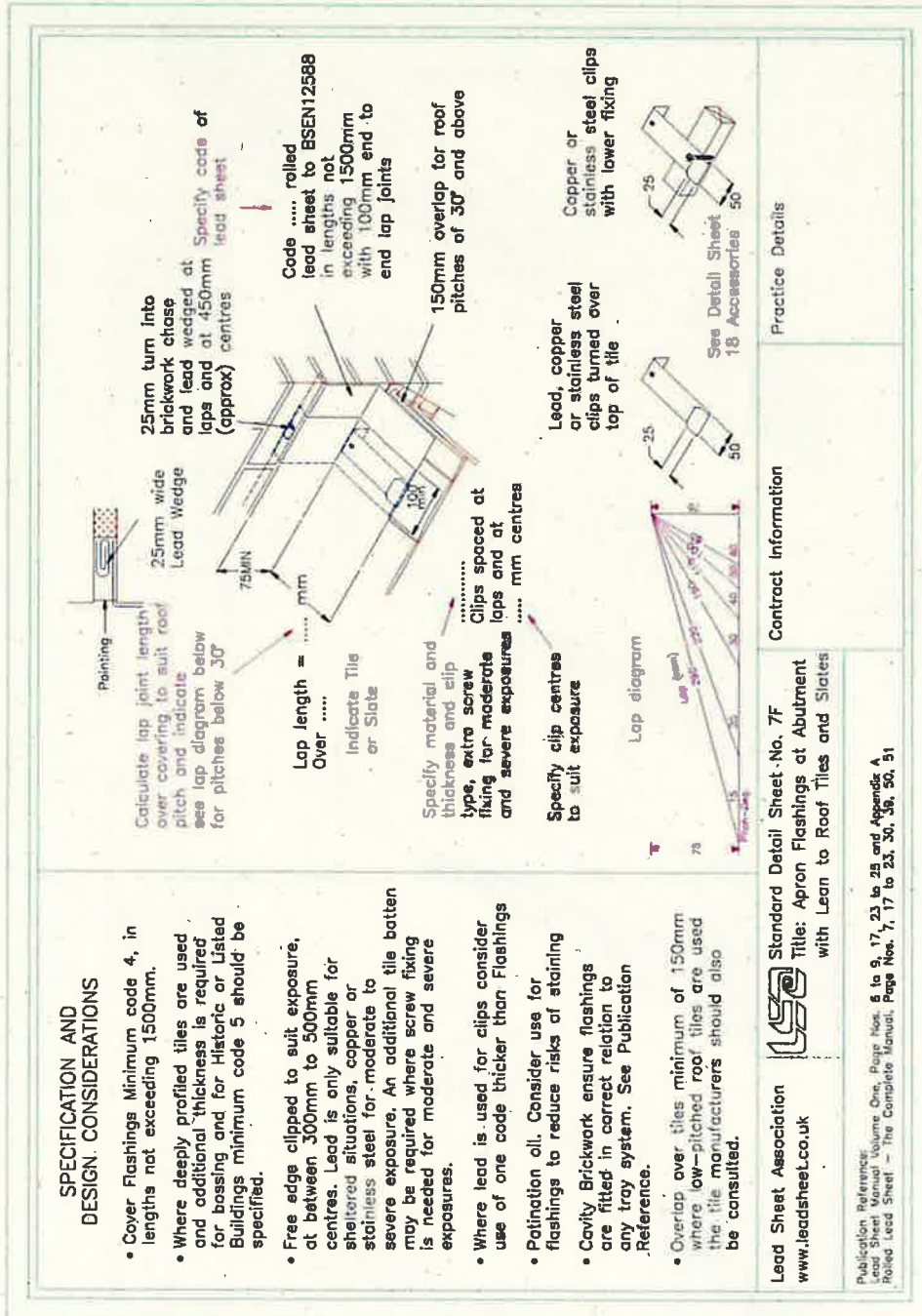
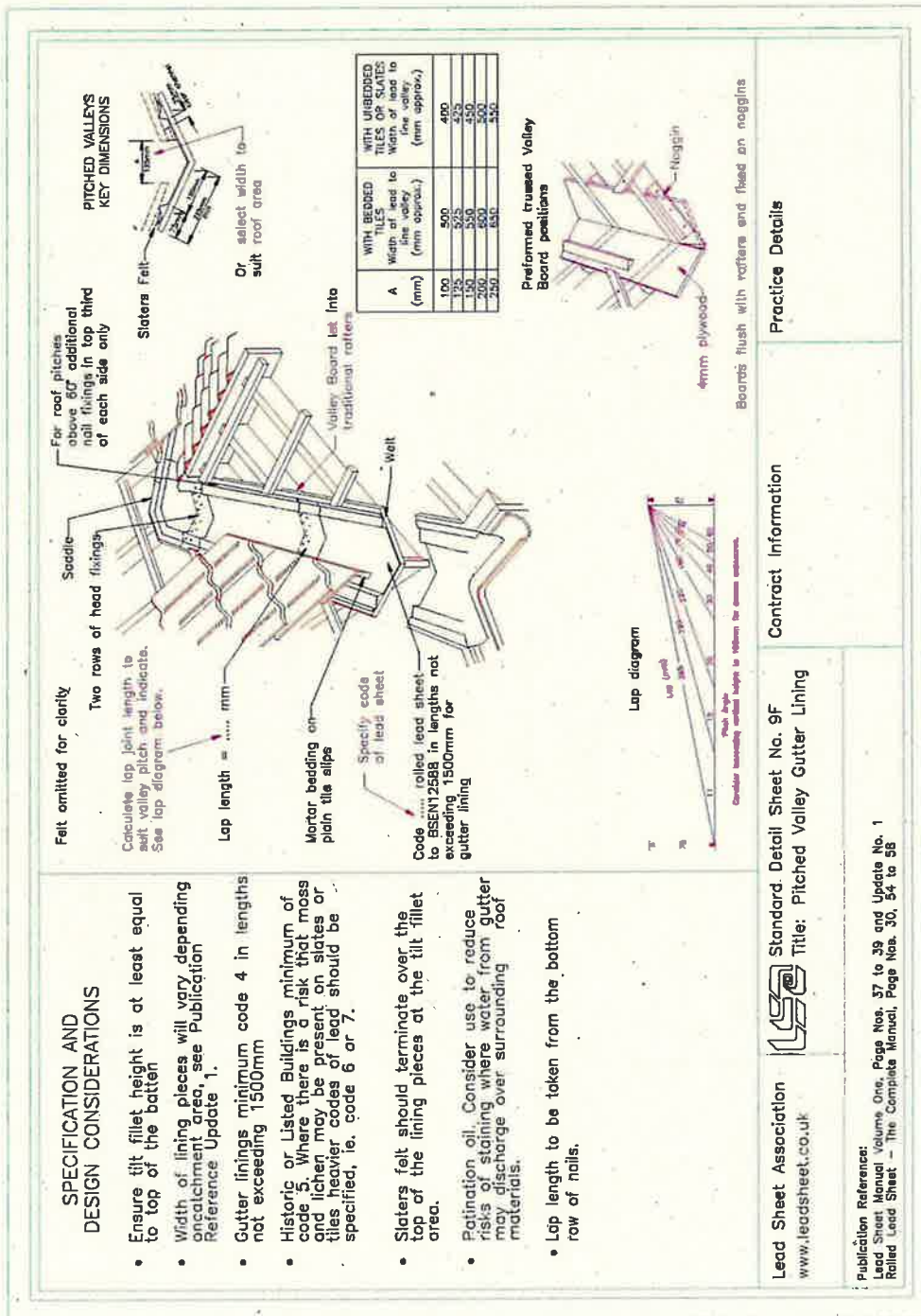


Figure 9 Abutment Lean to Lead Specification



**Figure 10 Lead Sheet Valley Detail**

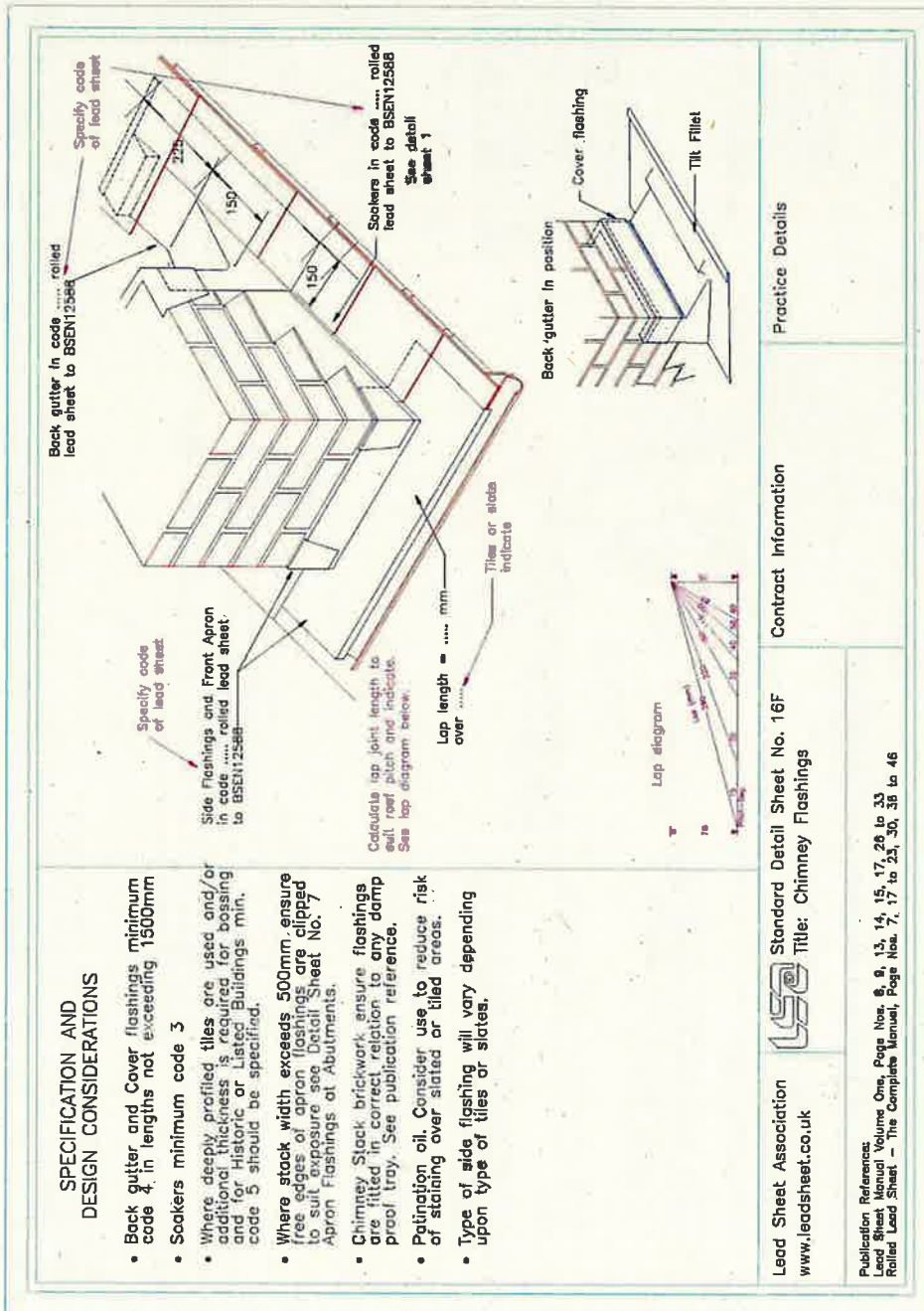


Figure 11 Chimney Flashing Details

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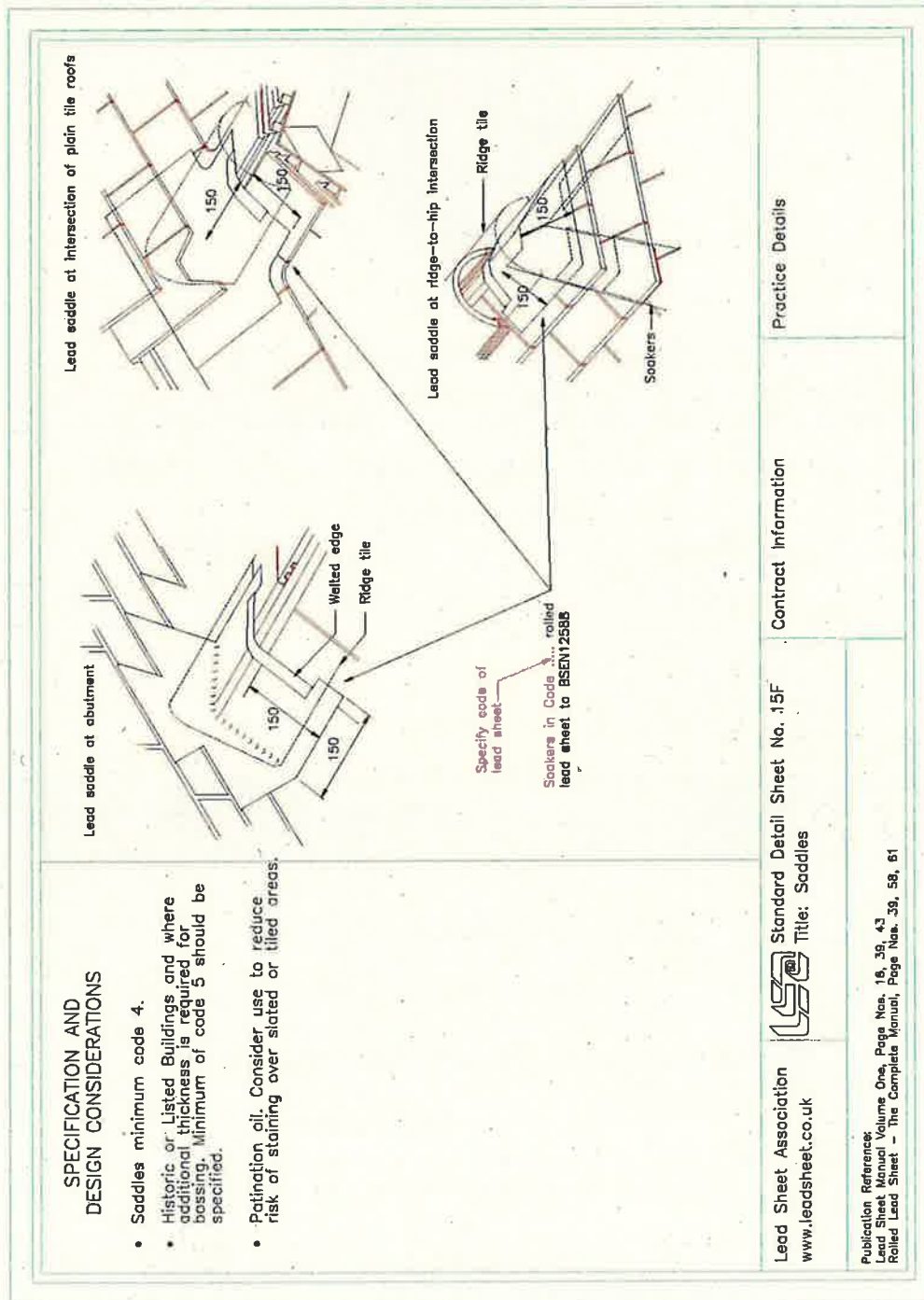


Figure 12 RLS Saddle details

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